



COLLABORATIVE REAL ESTATE

KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE

LISTING INFORMATION PACKAGE



147 Alta Road, The Blue Mountains



KAREN E. WILLISON Sales Representative
705-888-0075 | kwillison@royalpage.ca



LOCATIONS **NORTH**





COLLABORATIVE REAL ESTATE

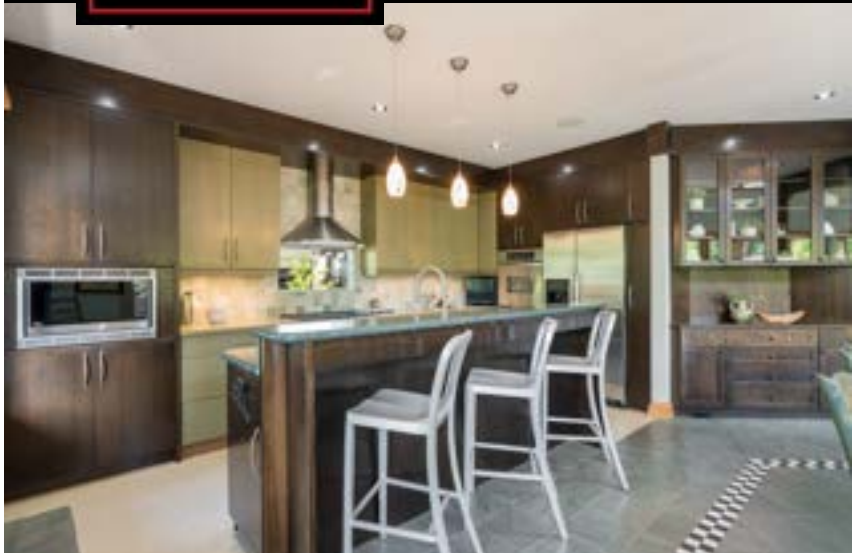
KAREN E. WILLISON, RLP LOCATIONS NORTH BROKERAGE

Quick Facts 147 Alta Road, The Blue Mountains

- Custom-built Alpine chalet in the prestigious Alta community, offering exceptional privacy and quality craftsmanship throughout
- Just 100 metres to the ski lift with the ability to ski home from Alpine Ski Club, plus direct access to nearby walking trails
- Spectacular escarpment and forest views, especially beautiful in autumn, enjoyed from both inside and out
- Covered wraparound porch and perennial gardens with dedicated dining and lounging areas overlooking the surrounding landscape
- Radiant in-floor heating throughout with seven individually controlled zones, complemented by energy-efficient Icynene spray foam insulation
- Designed for entertaining, with a soaring stone fireplace, spacious kitchen and dining area, dedicated theatre room, billiard room, family room and large bunk room
- 5 bedrooms with main floor primary suite
- 5 baths
- 2 car garage



CollaborativeRealEstate.ca



5,465 sq. ft.



4+1 Bed



4+1 Bath



Property Client Full

147 Alta Road, Blue Mountain, Ontario L9Y 0T2

Listing

147 Alta Rd Blue Mountain

Active / Residential Freehold / Detached

MLS®#: **X13714956**

List Price: **\$3,250,000**

New Listing

Grey County/Blue Mountains/Blue Mountains



Tax Amt/Yr: **\$10,334.50/2026** Transaction: **Sale**
SPIS: **No** DOM: **1**
Legal Desc: **LT 65 PL 1127; THE BLUE MOUNTAINS**

Style: **2 Storey** Rooms Rooms+: **10+3**
Fractional Ownership: **No** BR BR+: **5(4+1)**
Assignment: **No** Baths (F+H): **5(4+1)**
Link: **No** SF Range: **3500-5000**
Stores: **2.0** SF Source: **Other**
Lot Irreg: Lot Acres:
Lot Front: **87.80** Fronting On: **E**
Lot Depth: **237.86** Builder Name:
Lot Size Code: **Feet**
Zoning: **R1-1-30**
Dir/Cross St: **Arrowhead Road and Alta Road**

PIN #: **373090468** ARN #: **424200000627498** Contact After Exp: **No**
Holdover: **60** Survey Year/Type: **2004/Available**
Possession: **Flexible** Possession Date:

Kitch Kitch + Fam Rm: Basement: Fireplace/Stv: Fireplace Feat: Interior Feat:	1 (1+0) Yes Yes/Finished, Full Yes Living Room, Natural Gas Auto Garage Door Remote, Central Vacuum, ERV/HRV, Guest Accommodations, Built-In Oven, Primary Bedroom - Main Floor, Separate Heating Controls, Storage, Water Heater Owned	Exterior: Garage: Gar/Gar Spcs: Drive Pk Spcs: Tot Pk Spcs: Pool: Room Size: Rural Services: Security Feat:	Stone, Wood Yes Attached Garage/2.5 7.00 9.00 None Alarm System, Carbon Monoxide Detectors, Smoke Detector	Utilities: Water: Water Supply Type: Water Meter: Waterfront Feat: Waterfront Struc: Well Capacity: Well Depth: Sewers: Special Desig: Farm Features: Winterized:	Gas, Hydro, Sewers, Cable, Telephone Available Municipal Yes Sewer Unknown Fully
Parking Feat: Heat: Heat Source: A/C: Central Vac: Apx Age: POTL/Mnth Fee: Elevator: Laundry Lev: Property Feat:	Private Radiant Gas, Other Yes/Central Air Yes 16-30 No No/ Main Cul De Sac, Grnbelt/Conserv, Skiing, Wooded/Treed, Electric Car Charger, School Bus Route	Exterior Feat:	Backs On Green Belt, Deck, Lawn Sprinkler System, Porch, Privacy, Year Round Living	Roof: Foundation: Topography: Soil Type: Lease To Own Items:	Asphalt Shingle, Metal Poured Concrete Flat None
Waterfront Y/N: Water Struct: Under Contract: View:	No None Mountain, Trees/Woods	Waterfront: Easements/Restr: Dev Charges Paid: Lot Shape:	Island YN: HST App To SP: Included In Lot Size Source: MPAC		

Remarks/Directions

Client Rmks: **Old school quality construction in this stunning custom Alpine chalet. Ski home from Alpine ski club, head out your door to connect to community walking trails that feel like your own property or enjoy Georgian Bay just minutes away. This unique and gracious home was designed for fun gatherings with family and friends. It is as comfortable as it is interesting. A soaring round stone fireplace anchors the great room with**

an expanse of windows overlooking the woods that brings in a magical dappled light through the trees. Doors take you seamlessly to the outside covered wraparound porch with a side section positioned for escarpment views right up the ski slopes. Enjoy that view while you are preparing meals in the well-thought out kitchen. Cooking is easy with multiple sinks, a five-burner stove and double ovens. And a group is no problem, the dining area easily seats 12 or 14 at the table. It is all the more comfy with radiant in-floor heat throughout the whole house, with seven individually controlled zones. The main floor primary retreat has all the built ins you would ever need as well as a walk-in closet. A lovely six-panel bow window across the entire forest view makes this bedroom feel like a tree house. Three more bedrooms are in two separate upper floor wings. Nicely accessible theatre room is just a few steps up from the great room. The lower level has a huge bunk room, billiard room and family room for games and more good times. Situated in the high end Alta development, this property offers a community vibe while providing total privacy.

Inclusions: Refrigerator, gas cooktop, built-in double wall ovens, built-in microwave, dishwasher, washer, dryer, laundry room refrigerator, light fixtures, window coverings, media room projector, built-in screen & speakers, central vacuum & accessories, lower level freezer, storage shelving in lower utility room, garage door opener & remote(s), alarm system

Listing Contracted With: **Royal LePage Locations North 705-445-5520**

Prepared By: **KAREN E WILLISON, REALTOR Salesperson**

Date Prepared: **08/26/2026**

Rooms

MLS® #: X13714956

<u>Room</u>	<u>Level</u>	<u>Dimensions (Metric)</u>	<u>Dimensions (Imperial)</u>	<u>Bathroom Pieces</u>	<u>Features</u>
Foyer	Main	3.63 M X 5.27 M	11.91 Ft x 17.29 Ft		Double Closet, Heated Floor, Slate Flooring
Great Room	Main	6.68 M X 6.74 M	21.92 Ft x 22.11 Ft		Cathedral Ceiling, Heated Floor, Stone Fireplace
Dining Room	Main	5.88 M X 3.72 M	19.29 Ft x 12.20 Ft		Heated Floor, Pot Lights, Slate Flooring
Kitchen	Main	5.06 M X 2.59 M	16.60 Ft x 8.50 Ft		Granite Counter, Heated Floor, W/O To Deck
Primary Bedroom	Main	6.25 M X 4.57 M	20.51 Ft x 14.99 Ft		B/I Closet, Broadloom, Heated Floor
Laundry	Main	1.86 M X 2.84 M	6.10 Ft x 9.32 Ft		Heated Floor, Slate Flooring, Laundry Sink
Media Room	In Between	6.31 M X 5.15 M	20.70 Ft x 16.90 Ft		Broadloom, Heated Floor, W/O To Balcony
Bedroom	Second	6.86 M X 5.03 M	22.51 Ft x 16.50 Ft		Broadloom, Heated Floor, W/O To Deck
Bedroom	Second	3.63 M X 5.64 M	11.91 Ft x 18.50 Ft		Broadloom, Closet, Heated Floor
Bedroom	Second	4.18 M X 7.04 M	13.71 Ft x 23.10 Ft		Broadloom, Closet, Heated Floor
Recreation	Lower	8.35 M X 6.46 M	27.40 Ft x 21.19 Ft		Heated Floor, Linoleum, Pot Lights
Game Room	Lower	4.3 M X 6.28 M	14.11 Ft x 20.60 Ft		Heated Floor, Linoleum, Pot Lights
Bedroom	Lower	7.35 M X 4.57 M	24.11 Ft x 14.99 Ft		Heated Floor, Linoleum, W/I Closet
Utility Room	Lower	3.78 M X 6.95 M	12.40 Ft x 22.80 Ft		
Bathroom	Main			2	
Bathroom	Main			4	
Bathroom	In Between			4	
Bathroom	Second			3	
Bathroom	Lower			3	

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Expense/Utility/House Details

147 Alta Road, Blue Mountains, ON L9Y 0T2

House Details

Item	Year	Notes
Year Home was Built	2004-2005	
Air Conditioners (2)	2006	Keeprite
HRVs (2)	2005	Venmar THH 1.0 (unit in lower attic inoperable)
Windows	2005	Kolbe
Roof	2021	AM Roofing Collingwood
Boiler	2006	Weil McLean / Ultra 155
Water Heater	2021 (est)	Weil McLean / 40 Gallon

Fees and Utility Costs

Utility	Yearly Cost	Provider
Current Property Taxes	\$10,334.50	Town of the Blue Mountains
Insurance Premium	\$2,744.00	Intact
Gas	\$1,611.80 (avg)	Enbridge
Hydro	\$1,912.44 (avg)	Hydro One
Water/Sewer	\$1,221.27 (avg)	Town of the Blue Mountain
Internet/Cable/Phone Bundle	\$2,942.52	Rogers
Lawn/Garden Maintenance	\$5,155.63 \$498.80	Garden Holistics Eagles Weed Control

Snow Removal	\$1,932.30	Collingwood Snow Patrol
Alarm System Monitoring	\$176.16	Telus

Appliances

Appliance	Make/Model	Year/Notes
Refrigerator	KitchenAid / KSCS25FKSS	2005, Counter-depth, Superba
Dishwasher	Bosch / SHP65CM5N	June 2025 500 series, pocket handle
Gas Cooktop	Wolf / CT36GS	2005
Built-in Electric Double Oven	KitchenAid / KEBC107KSS	2005, 30" SS, electric
Microwave	Panasonic / NNP994S	August 2019
Washer	Whirlpool / GHW9100LW	2005
Dryer (propane gas)	Whirlpool / GGW9200LW	2005
Second refrigerator	Whirlpool / WRR56X18FW	September 2019

Additional Notes

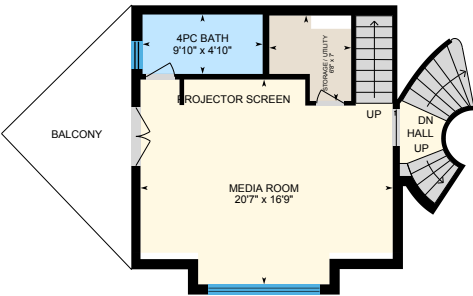
Whole home surge protector
EV charger
Insinkerator

147 Alta Rd, The Blue Mountains, ON

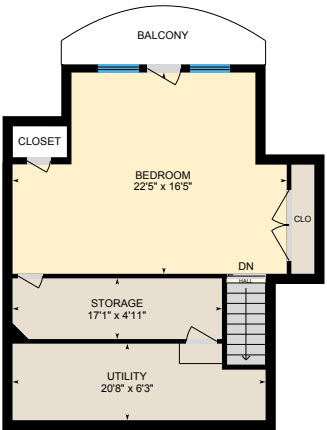
Main Building: Total Exterior Area Above Grade 3793.40 sq ft



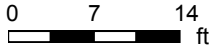
Main Floor
Exterior Area 1802.33 sq ft



Middle Level
Exterior Area 559.97 sq ft

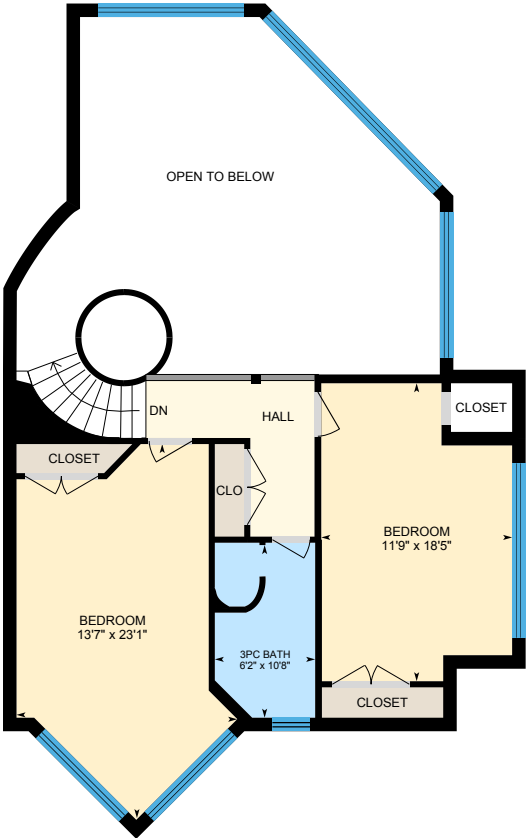


2nd Floor Bedroom
Exterior Area 674.86 sq ft

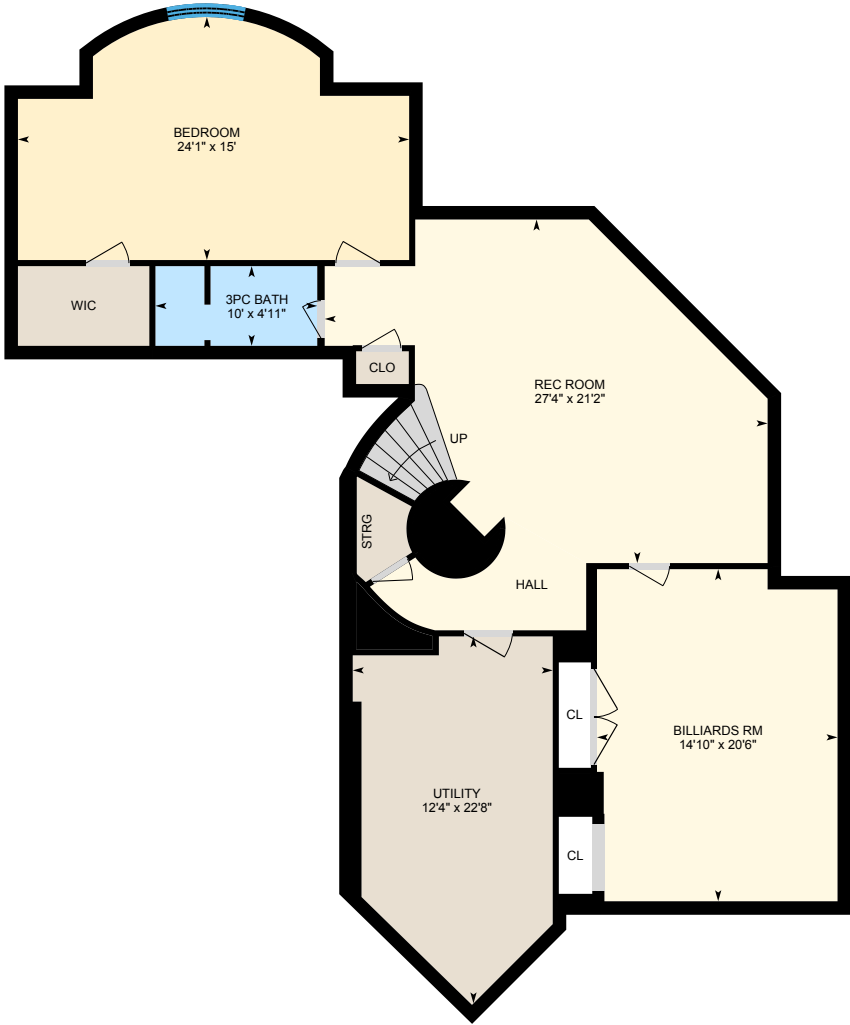


147 Alta Rd, The Blue Mountains, ON

Main Building: Total Exterior Area Above Grade 3793.40 sq ft



2nd Floor
Exterior Area 756.24 sq ft



Lower Level (Below Grade)
Exterior Area 1671.98 sq ft

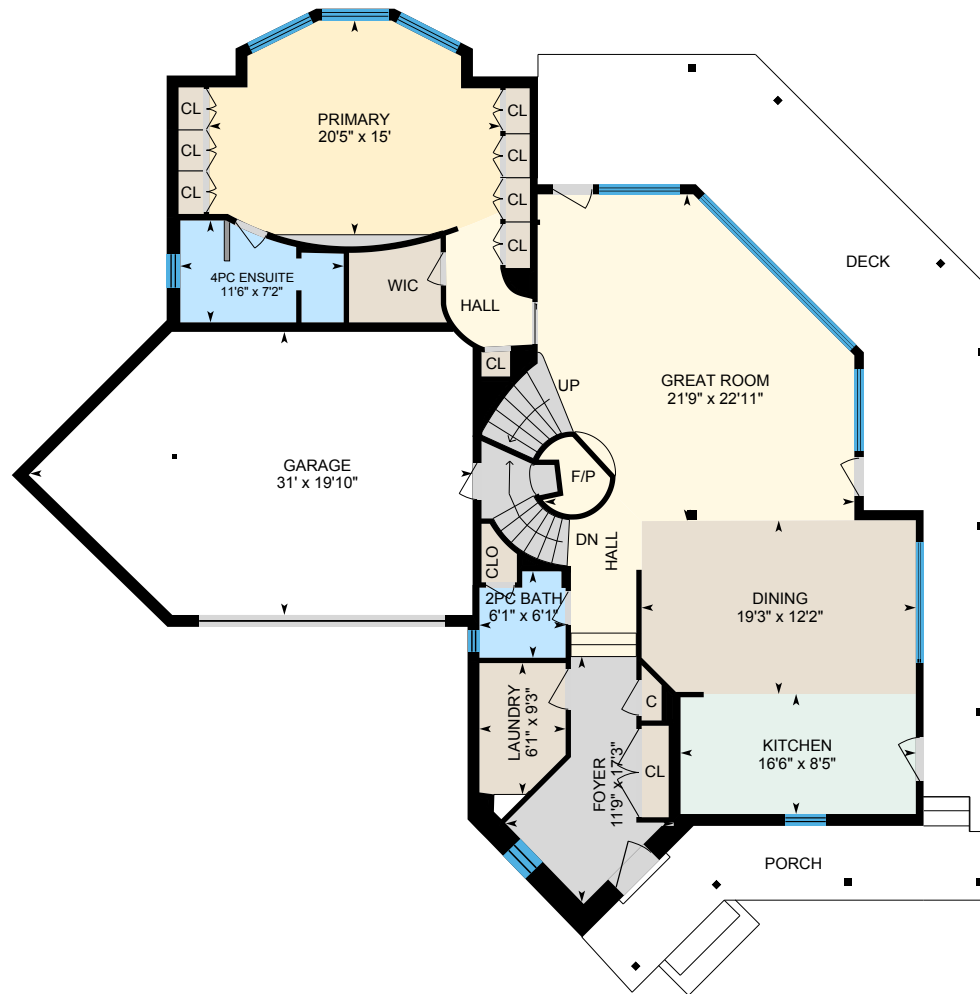
0 5 10
ft



PREPARED: 2026/08/26

147 Alta Rd, The Blue Mountains, ON

Main Floor Exterior Area 1802.33 sq ft
Interior Area 1635.39 sq ft
Excluded Area 562.55 sq ft



0 5 10
ft

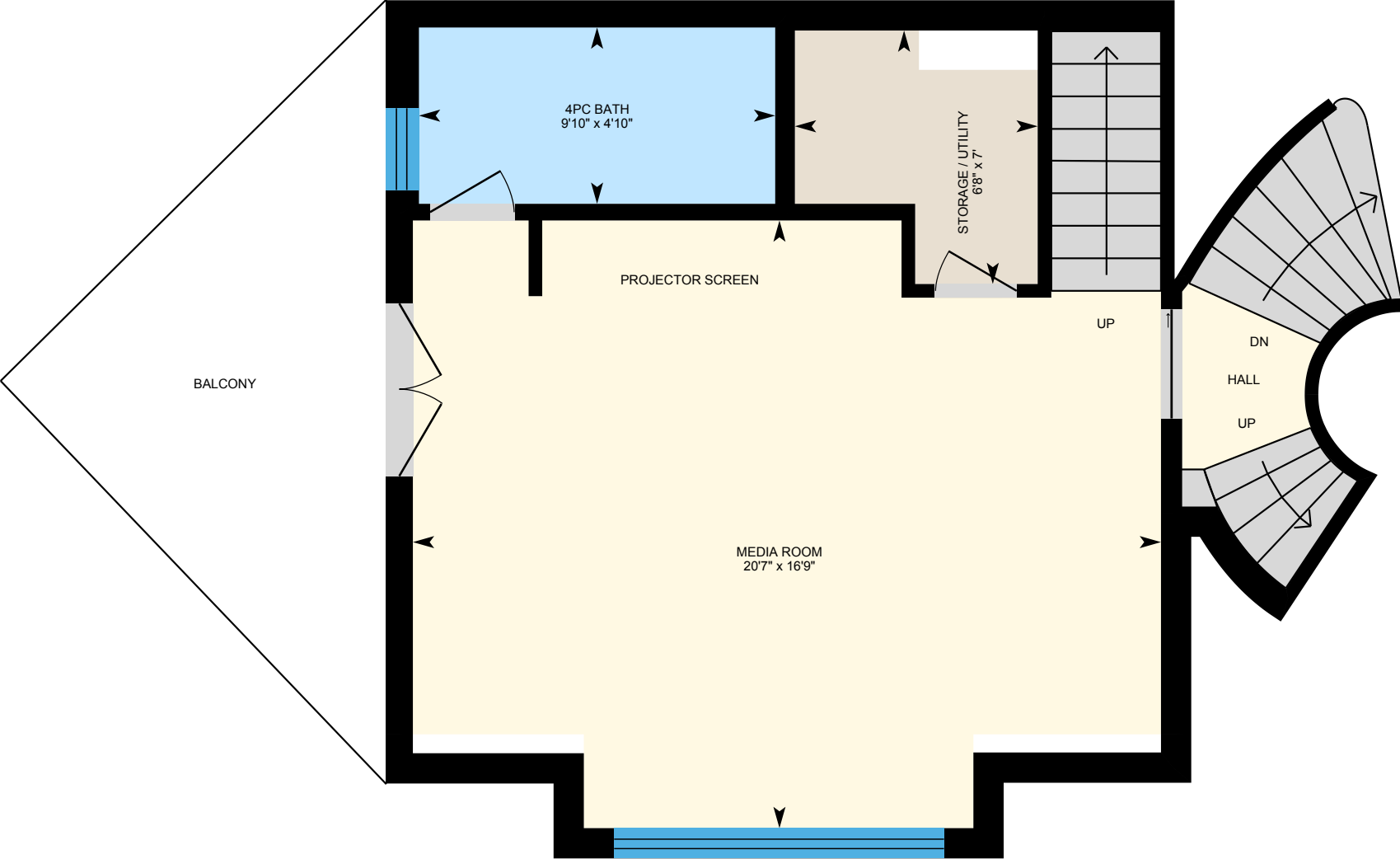
PREPARED: 2026/08/26



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

147 Alta Rd, The Blue Mountains, ON

Middle Level Exterior Area 559.97 sq ft
Interior Area 473.44 sq ft
Excluded Area 8.58 sq ft



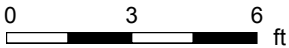
0 2 4 ft

PREPARED: 2026/08/26



147 Alta Rd, The Blue Mountains, ON

2nd Floor Bedroom Exterior Area 674.86 sq ft
Interior Area 583.85 sq ft
Excluded Area 11.13 sq ft



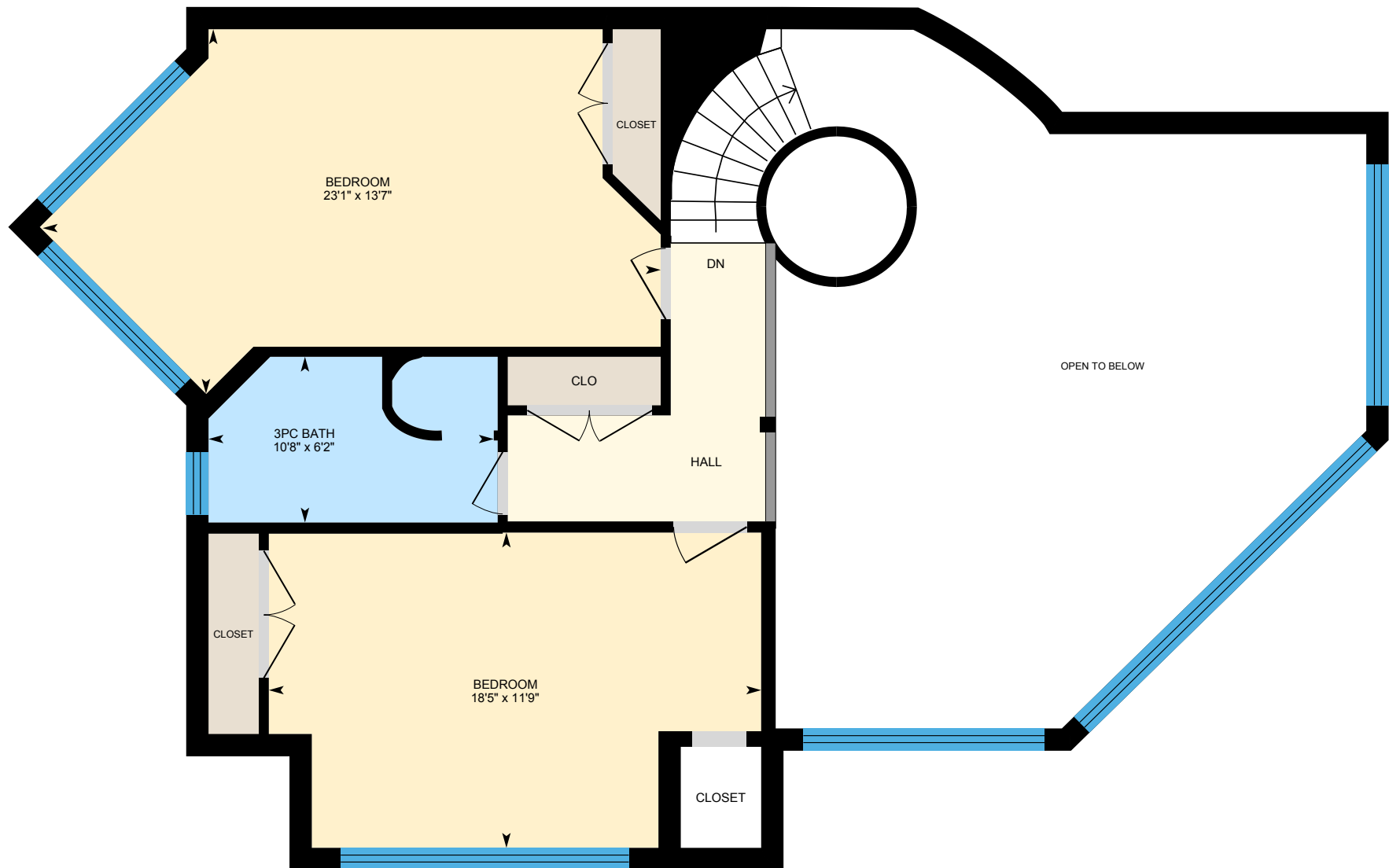
PREPARED: 2026/08/26



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

147 Alta Rd, The Blue Mountains, ON

2nd Floor Exterior Area 756.24 sq ft
Interior Area 633.75 sq ft
Excluded Area 491.58 sq ft



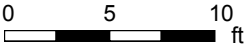
0 4 8 ft

PREPARED: 2026/08/26



147 Alta Rd, The Blue Mountains, ON

Lower Level (Below Grade) Exterior Area 1671.98 sq ft
Interior Area 1493.58 sq ft
Excluded Area 22.66 sq ft



PREPARED: 2026/08/26



147 Alta Rd, The Blue Mountains, ON

Property Details

Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

Main Building

MAIN FLOOR

2pc Bath: 6'1" x 6'1"

4pc Ensuite: 11'6" x 7'2"

Dining: 19'3" x 12'2"

Foyer: 11'9" x 17'3"

Garage: 31' x 19'10"

Great Room: 21'9" x 22'11"

Kitchen: 16'6" x 8'5"

Laundry: 6'1" x 9'3"

Primary: 20'5" x 15'

MIDDLE LEVEL

4pc Bath: 9'10" x 4'10"

Media Room: 20'7" x 16'9"

Storage / Utility: 6'8" x 7'

2ND FLOOR BEDROOM

Bedroom: 22'5" x 16'5"

Storage: 17'1" x 4'11"

Utility: 20'8" x 6'3"

2ND FLOOR

3pc Bath: 6'2" x 10'8"

Bedroom: 11'9" x 18'5"

Bedroom: 13'7" x 23'1"

Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

Main Building

MAIN FLOOR

Interior Area: 1635.39 sq ft

Excluded Area: 562.55 sq ft

Perimeter Wall Thickness: 10.0 in

Exterior Area: 1802.33 sq ft

MIDDLE LEVEL

Interior Area: 473.44 sq ft

Excluded Area: 8.58 sq ft

Perimeter Wall Thickness: 10.0 in

Exterior Area: 559.97 sq ft

2ND FLOOR BEDROOM

Interior Area: 583.85 sq ft

Excluded Area: 11.13 sq ft

Perimeter Wall Thickness: 10.0 in

Exterior Area: 674.86 sq ft

2ND FLOOR

Interior Area: 633.75 sq ft

Excluded Area: 491.58 sq ft

Perimeter Wall Thickness: 10.0 in

Exterior Area: 756.24 sq ft

147 Alta Rd, The Blue Mountains, ON

Property Details

Room Measurements

LOWER LEVEL
3pc Bath: 10' x 4'11"
Bedroom: 24'1" x 15'
Billiards Rm: 14'10" x 20'6"
Rec Room: 27'4" x 21'2"
Utility: 12'4" x 22'8"

Floor Area Information

LOWER LEVEL (Below Grade)
Interior Area: 1493.58 sq ft
Excluded Area: 22.66 sq ft
Perimeter Wall Thickness: 10.0 in
Exterior Area: 1671.98 sq ft

Total Above Grade Floor Area, Main Building

Interior Area: 3326.43 sq ft
Excluded Area: 1073.85 sq ft
Exterior Area: 3793.40 sq ft

147 Alta Rd, The Blue Mountains, ON

iGUIDE Method of Measurement

Definitions

Interior Area is a per floor calculation, made by measuring to the inside surface of the exterior walls. The footprint of all interior walls and staircases is typically included.

Excluded Area is a sum of the area of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor and the footprint of corresponding walls. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces.

Exterior Wall Footprint is the sum of the estimated area of the perimeter wall segments bounding both Interior and Excluded Areas.

Exterior Area is a per floor calculation, made by measuring to the outside surface of the exterior walls and is represented by the sum of the Interior Area and the Exterior Wall Footprint.

Grade is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

Total Interior Area is the sum of all Interior Areas.

Total Excluded Area is the sum of all Excluded Areas.

Total Exterior Area is the sum of all Exterior Areas.

Finished Area is a per floor calculation made by adding all enclosed areas in a house that are suitable for year-round use based upon their location, embodying walls, floors, and ceilings and which are similar to the rest of the house. Footprint of walls is attributed to finished area only when the walls are bounding finished areas.

Unfinished Area is a per floor calculation made by adding all enclosed areas that do not meet the criteria for Finished Area. Exceptions are outdoor and non-walkable areas, for example porches or areas open to below. Footprint of walls is attributed to unfinished area only when the walls are exclusively bounding unfinished areas.

Notes

For exterior walls that are adjacent to the outside of the property, where typically only the interior side has measurement data, an estimation of the exterior wall thickness (as directly measured at the property) is used to calculate its footprint. Considerations are not made for varying wall thickness along the perimeter.

Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.

PDF Floor Plans

A. RECA RMS 2024: Color is used to indicate all included areas. Excluded and not reported areas are shown in white. Walls are always shown in black.

B. ANSI Z765 2021: Color is used to indicate all finished areas. Unfinished and not reported areas are shown in white. Walls are always shown in black.

More Information About the Standards

A. RECA RMS 2024: <https://www.reca.ca/licensees-learners/tools-resources/residential-measurement-standard>

B. ANSI Z765 2021: <https://www.homeinnovation.com/z765>

Seasonal Photography



Seasonal Photography



Seasonal Photography



SURVEYOR'S REAL PROPERTY REPORT
(PART 1) PLAN OF
LOT 65
REGISTERED PLAN 1127
 (GEOGRAPHIC TOWNSHIP OF COLLINGWOOD)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

SCALE 1:300
 0 1 2 3 4 5 6 12 METRES
 ZUBEK, EMO, PATTEN & THOMSEN LTD.
 2004

METRIC
 DISTANCES ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH
 SURVEY REPORT DATED SEPTEMBER 16, 2004.

NOTES:
 BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO
 THE BEARING OF THE WESTERLY LIMIT OF ALTA ROAD BEING
 N20°23'30"W IN ACCORDANCE WITH REGISTERED PLAN 1127.

- ⊕ DENOTES SET
- DENOTES FOUND
- ⊕ S.I.B. DENOTES STANDARD IRON BAR
- ⊕ I.B. DENOTES IRON BAR
- ⊕ S.S.I.B. DENOTES SHORT-STANDARD IRON BAR
- ⊕ C.C. DENOTES CUT CROSS

THIS REPORT WAS PREPARED FOR TIMBERLANE
 CONSTRUCTION SERVICES AND THE UNDERSIGNED
 ACCEPTS NO RESPONSIBILITY FOR USE
 BY OTHER PARTIES

NOTE
 NO ADDITIONAL PRINTS OF THIS REPORT CAN BE
 ISSUED FROM THIS OFFICE WITHOUT A FIELD
 EXAMINATION AND UPDATING OF THE PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
 REGISTRY ACT AND THE REGULATIONS MADE UNDER THEM.

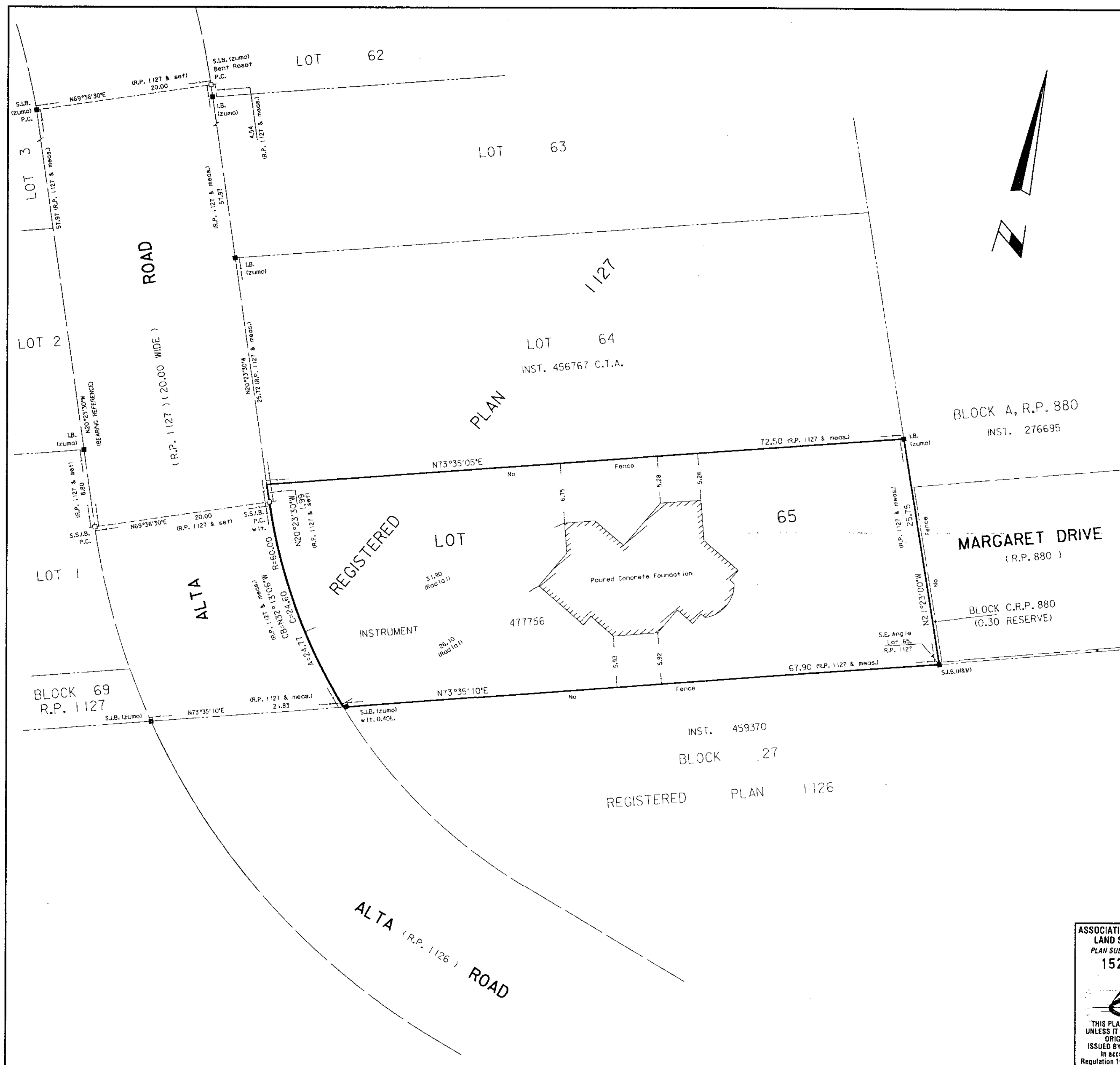
2. THE SURVEY WAS COMPLETED ON THE 2ND DAY OF
 AUGUST 2004.

SEPTEMBER 16, 2004  O.L.S.
 PAUL R. THOMSEN
 ONTARIO LAND SURVEYOR
 COLLINGWOOD



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 ZUBEK, EMO
PATTEN
 &
THOMSEN
 LIMITED
 39 STEWART ROAD
 COLLINGWOOD, ONTARIO L9Y 4M7
 PHONE: (705) 445-4910 FAX: (705) 445-5866

JOB No. 2002-14-20
 SURVEY FOR: TIMBERLANE CONSTRUCTION SERVICES



ZUBEK, EMO
PATTEN
&
THOMSEN
LIMITED

**ONTARIO LAND
SURVEYORS**

Digital Topographic
and Property Mapping

Condominium &
Subdivision Consultants

39 Stewart Road
Collingwood, Ontario
L9Y 4M7

Phone (705) 445-4910
Fax (705) 445-5866
Email: zumo@on.aibn.com

LYNN H. PATTEN
O.L.S.

PAUL R. THOMSEN
B.Sc., O.L.S.

GEORGE J. ZUBEK
O.L.S., C.L.S.
(Retired)

RONALD J. EMO
B.A., O.L.S.
(Retired)

SURVEYOR'S REAL PROPERTY REPORT - PART TWO

Timberlane Construction Services
P. O. Box 235
Clarksburg, Ontario
N0H 1J0

September 16, 2004

ATTENTION: MR. DAVID MCCOMBE

**RE: LOT 65, REGISTERED PLAN 1127
(GEOGRAPHIC TOWNSHIP OF COLLINGWOOD)
TOWN OF THE BLUE MOUNTAINS
OUR FILE: 2002-14-20**

Dear Sir:

Further to your instructions to our office regarding having a survey prepared on the above noted property, we are pleased to report that this work is now complete. Accordingly, please find enclosed five prints of our plan which together with this report form our Surveyor's Real Property Report.

By way of a brief written report, I would advise that we found sufficient survey evidence remaining from previous surveys with which to re-establish the boundaries of Lot 65. We laid out the position of the new dwelling at the usual stages of construction including on the ground, in the excavation and on the footings. We located the "as built" foundation and have shown this on our enclosed plan.

Our Land Registry Office search did not indicate that the property was subject to any rights of way or easements. Underground utilities were not located in the field and as such we cannot confirm the existence or location of same.

I recommend that you pass prints of this plan and a copy of this letter on to the purchaser to store in a safe place as we are unable to supply prints at a later date without updating our survey. I am taking this opportunity to submit our invoice herein.

If you have any questions regarding the enclosed, please contact our office. I would like to thank you for the opportunity to have been of service to you.

Yours truly,

ZUBEK, EMO, PATTEN & THOMSEN LTD.
PER:



Paul R. Thomsen, B.Sc., O.L.S.

PRT/tla/encl./C:\wp51\et2004\TIMBERLANE1.wpd



PLAN 1127

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE REGISTRY DIVISION OF GREY (NO. 16) AT 11:08 a.m. O'CLOCK ON THE 8th DAY OF November 2002, AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. 458475

Paul R. Thomsen
Dep. LAND REGISTRAR

NOTE: THE LANDS SUBDIVIDED COMPRISE ALL OF THE LANDS COVERED BY C.T.A. No. 456767

PLAN OF SURVEY OF
PART OF LOTS 23 AND 24
CONCESSION 4
(GEOGRAPHIC TOWNSHIP OF COLLINGWOOD)
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

SCALE 1:2000

ZUBEK, EMO, PATTEN & THOMSEN LTD.
2002

METRIC
DISTANCES ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 22ND DAY OF OCTOBER 2002.

OCTOBER 30, 2002 *Paul R. Thomsen* O.L.S.
PAUL R. THOMSEN
ONTARIO LAND SURVEYOR
COLLINGWOOD

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

1. LOTS 1 TO 65, BOTH INCLUSIVE, BLOCKS 66 TO 76, BOTH INCLUSIVE, THE STREETS, NAMELY ALTA ROAD, HEMLOCK COURT, ESCARPMENT VIEW COURT AND OAK COURT HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
2. THE STREETS ARE HEREBY DEDICATED TO THE TOWN OF THE BLUE MOUNTAINS AS PUBLIC HIGHWAYS.
DATED THIS 30TH DAY OF OCTOBER 2002.

TABERA LTD.
PER *Lorne Shuff* (VICE-PRESIDENT)
I HAVE THE AUTHORITY TO BIND THE CORPORATION

NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE BEARING OF THE LINE BETWEEN THE EAST AND WEST HALVES OF LOT 24, CONCESSION 4 BEING N9°08'00"W IN ACCORDANCE WITH PLAN 16R-7969.

- DENOTES SET
- DENOTES FOUND
- DENOTES 0.025 X 0.025 X 1.219 IRON SURVEY BAR
- DENOTES 0.016 X 0.016 X 0.610 IRON SURVEY BAR
- DENOTES 0.025 X 0.025 X 0.610 IRON SURVEY BAR
- DENOTES CUT CROSS
- REFERS TO PLAN 16R-7969

UNLESS OTHERWISE INDICATED ALL SET BARS ARE I.B.

THIS FINAL PLAN OF SUBDIVISION IS APPROVED UNDER SECTION 5(5B) OF THE PLANNING ACT, CHAPTER P13 RSO 1990 AS AMENDED.

THIS 4th DAY OF NOVEMBER, 2002
Warden WARDEN
Shawn CLERK

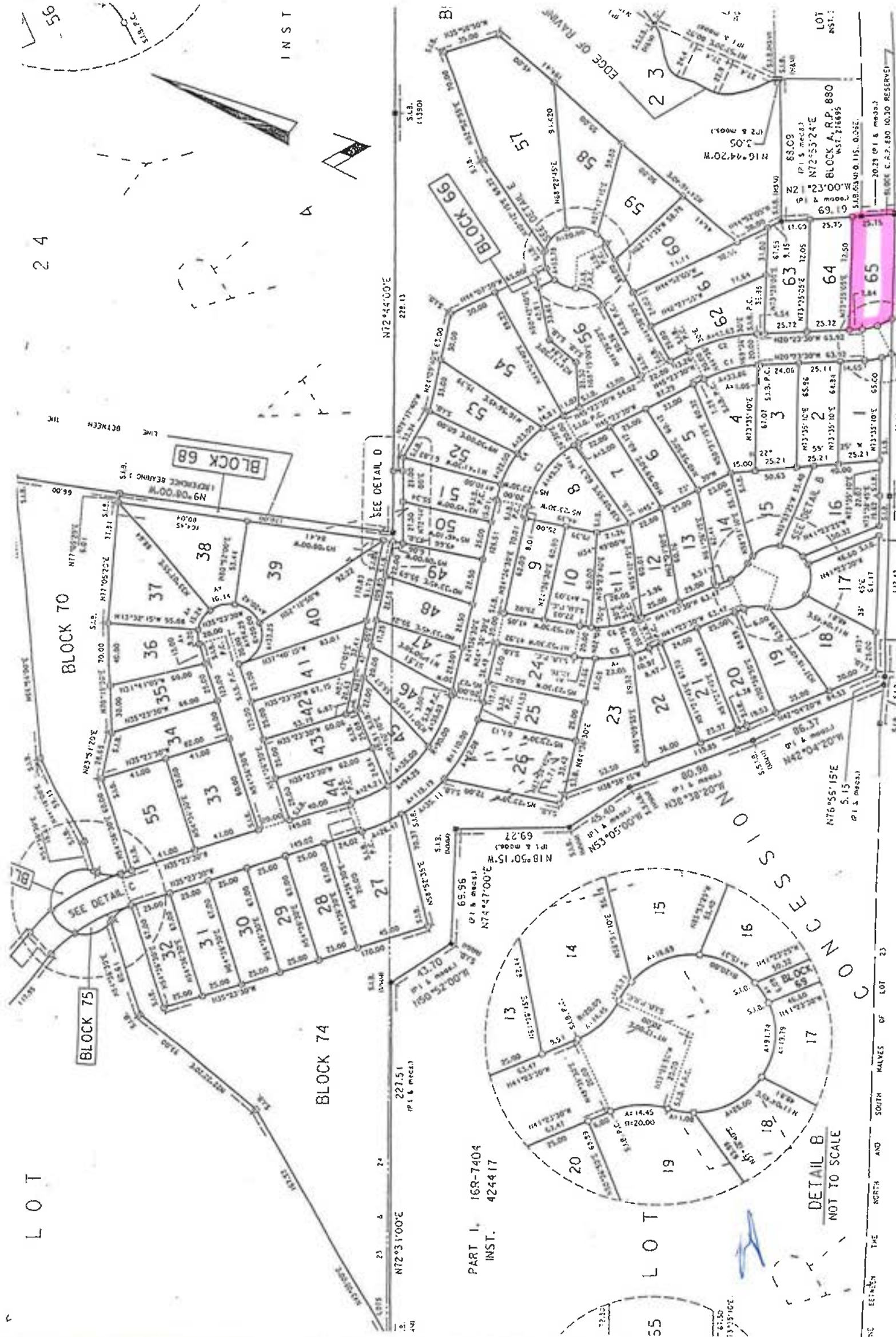
ZUBEK, EMO
PATTEN
&
THOMSEN
LIMITED

ONTARIO LAND SURVEYORS
39 STEWART ROAD
COLLINGWOOD, ONTARIO L9Y 4M7
PHONE: (705) 445-4910 FAX: (705) 445-5866

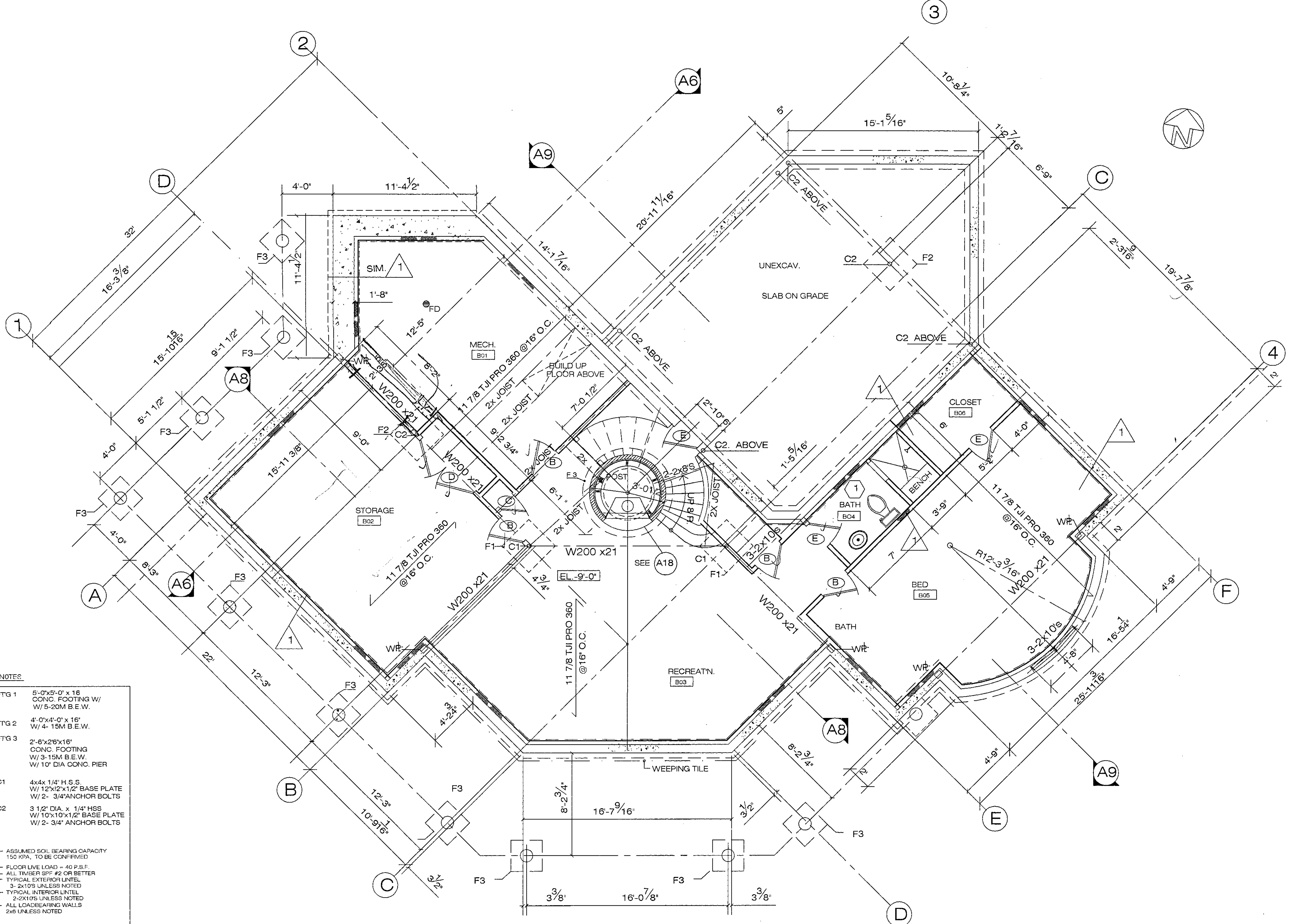
JOB No. 2000-16 FOR: TABERA LTD.

SCHEDULE "A"

Plan of Subdivision No. 1127



- NOTES
- FTG 1 5'-0"x5'-0" x 16" CONC. FOOTING W/ W/ 5'-20M B.E.W.
 - FTG 2 4'-0"x4'-0" x 16" W/ 4'-15M B.E.W.
 - FTG 3 2'-6"x26"x16" CONC. FOOTING W/ 3'-15M B.E.W. W/ 10" DIA CONC. PIER
 - C1 4x4x 1/4" H.S.S. W/ 12"x12"x1/2" BASE PLATE W/ 2- 3/4" ANCHOR BOLTS
 - C2 3 1/2" DIA. x 1/4" HSS W/ 10"x10"x1/2" BASE PLATE W/ 2- 3/4" ANCHOR BOLTS
- ASSUMED SOIL BEARING CAPACITY 150 KPA, TO BE CONFIRMED
- FLOOR LIVE LOAD = 40 P.S.F.
- ALL TIMBER SPF #2 OR BETTER
- TYPICAL EXTERIOR LINTEL 3-2x10S UNLESS NOTED
- TYPICAL INTERIOR LINTEL 2-2x10S UNLESS NOTED
- ALL LOADBEARING WALLS 2x6 UNLESS NOTED

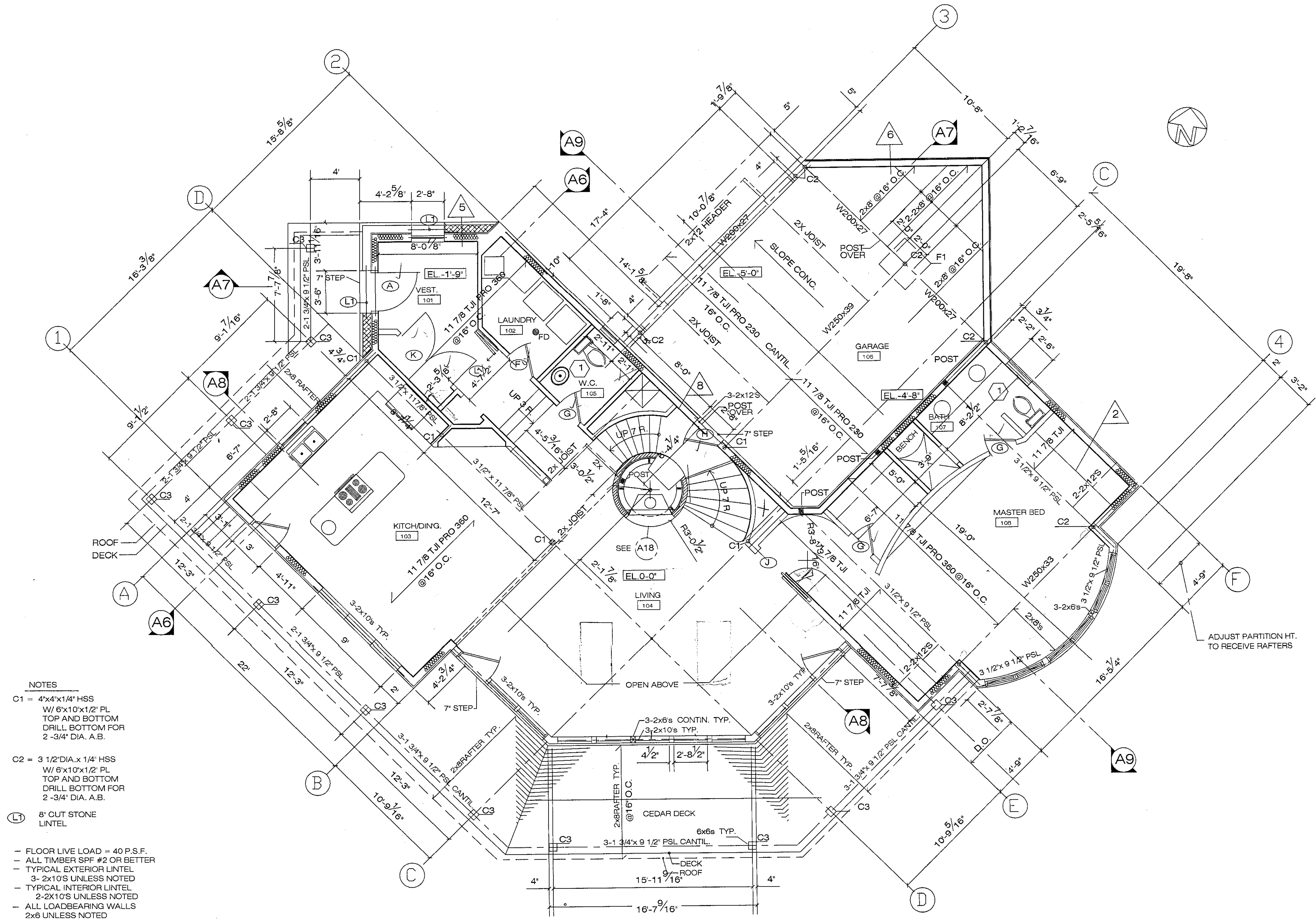


RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO
BASEMENT

**Steven M. Eskind
Architect**
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

Scale 1/4" = 1'-0"
Printed
Date MARCH 04

A2
#306



- NOTES
- C1 = 4"x4"x1/4" HSS
W/ 6"x10"x1/2" PL
TOP AND BOTTOM
DRILL BOTTOM FOR
2-3/4" DIA. A.B.
- C2 = 3 1/2" DIA. x 1/4" HSS
W/ 6"x10"x1/2" PL
TOP AND BOTTOM
DRILL BOTTOM FOR
2-3/4" DIA. A.B.
- LI 8" OUT STONE
LINTEL
- FLOOR LIVE LOAD = 40 P.S.F.
- ALL TIMBER SPF #2 OR BETTER
- TYPICAL EXTERIOR LINTEL
3-2x10S UNLESS NOTED
- TYPICAL INTERIOR LINTEL
2-2x10S UNLESS NOTED
- ALL LOADBEARING WALLS
2x6 UNLESS NOTED
- ROOF LIVE LOAD = 45 PSF.

RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO

GROUND FL.

Steven M. Eskind
Architect

51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

Scale 1/4" = 1'-0"

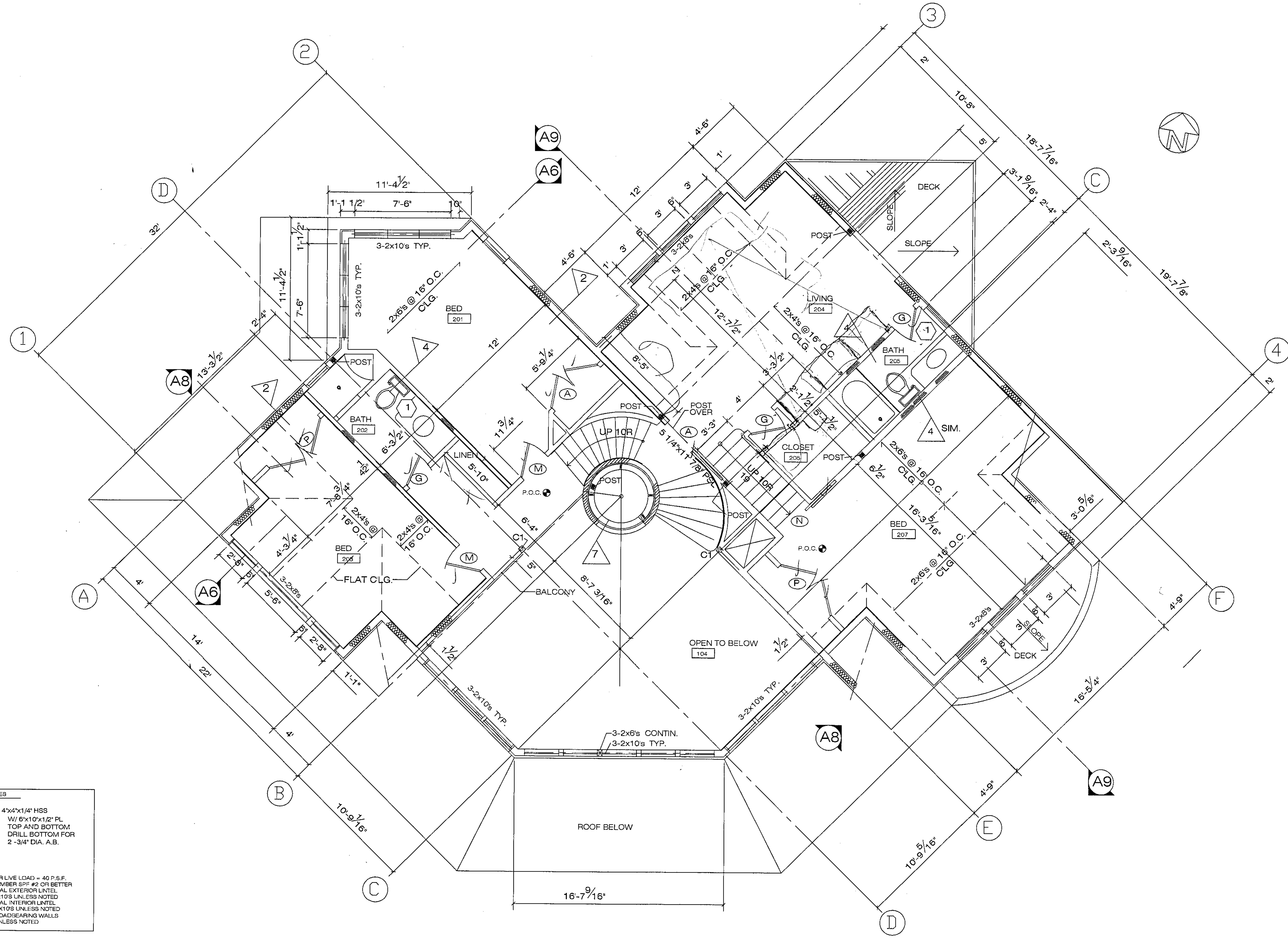
Printed

Date MARCH 04

A3

#306

- NOTES
- C1 = 4"x4"x1/4" HSS
 - W/ 6"x10"x1/2" PL
 - TOP AND BOTTOM
 - DRILL BOTTOM FOR
 - 2 - 3/4" DIA. A.B.
- FLOOR LIVE LOAD = 40 P.S.F.
- ALL TIMBER SPF #2 OR BETTER
- TYPICAL EXTERIOR LINTEL
- 3 - 2x10s UNLESS NOTED
- TYPICAL INTERIOR LINTEL
- 2 - 2x10s UNLESS NOTED
- ALL LOAD BEARING WALLS
- 2x6 UNLESS NOTED



RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO

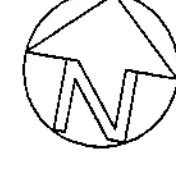
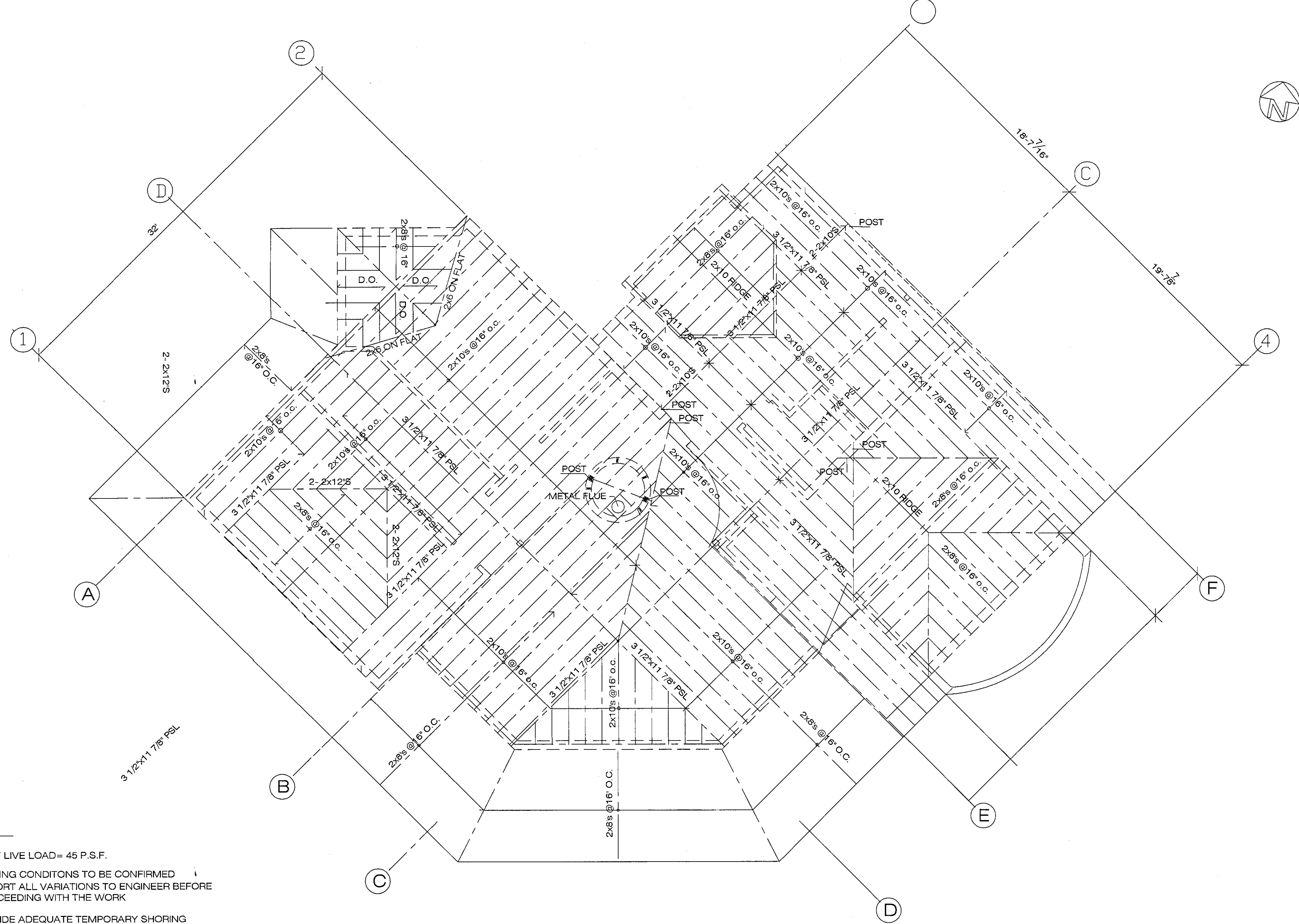
Steven M. Eskind
Architect
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

Scale 1/4" = 1'-0"
Printed
Date MARCH 04
A4
#306

SECOND FL.

NOTES

1. ROOF LIVE LOAD= 45 P.S.F.
2. EXISTING CONDITONS TO BE CONFIRMED
REPORT ALL VARIATIONS TO ENGINEER BEFORE
PROCEEDING WITH THE WORK
3. PROVIDE ADEQUATE TEMPORARY SHORING
AND SUPPORT DURING CONSTRUCTION



RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO

**Steven M. Eskind
Architect**

**51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589**

Scale 1/4"= 1'-0"

Printed

Date

MARCH 04

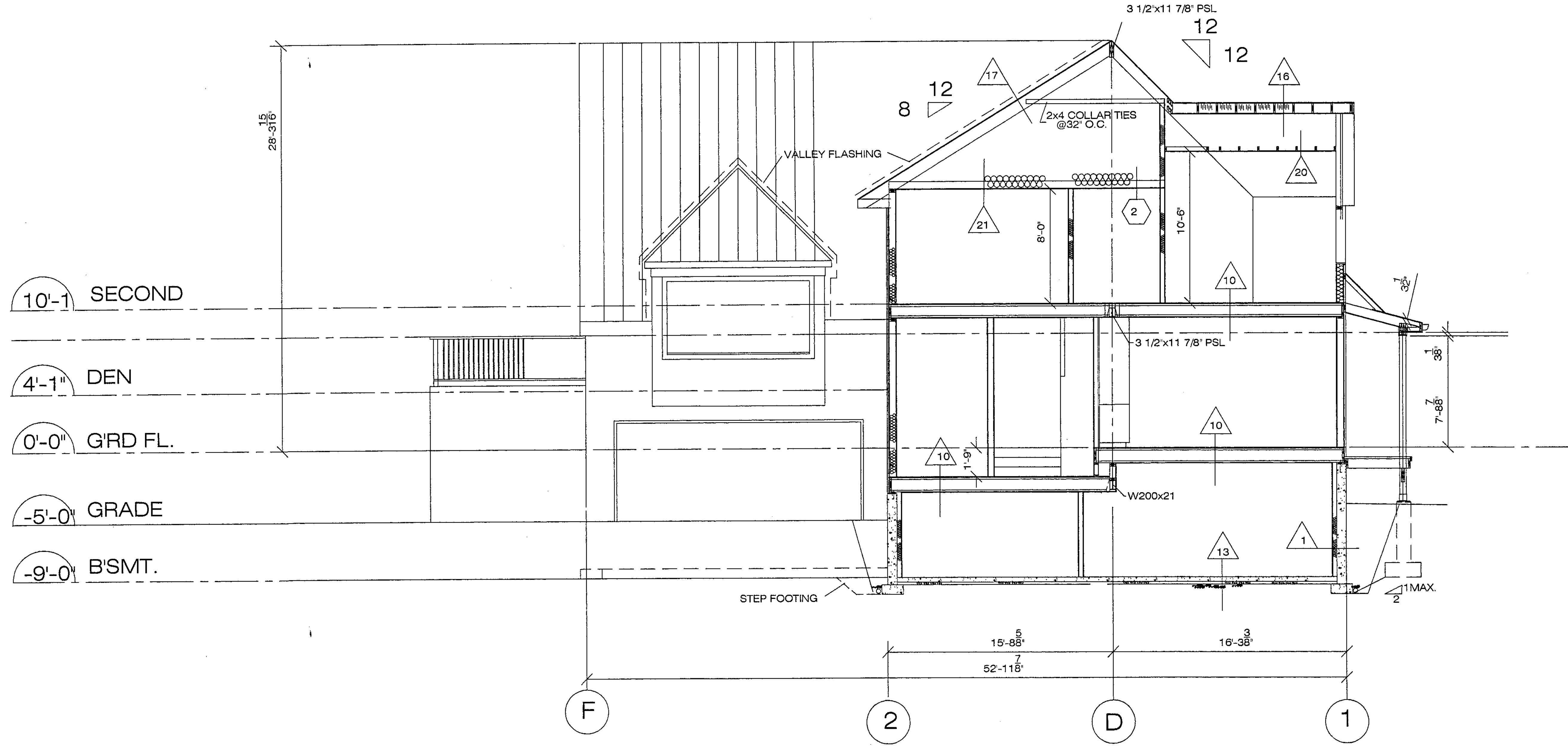
A5

#306

ROOF FRAMING

NOTES

2 PROVIDE 20"x28" INSULATED ACCESS HATCH

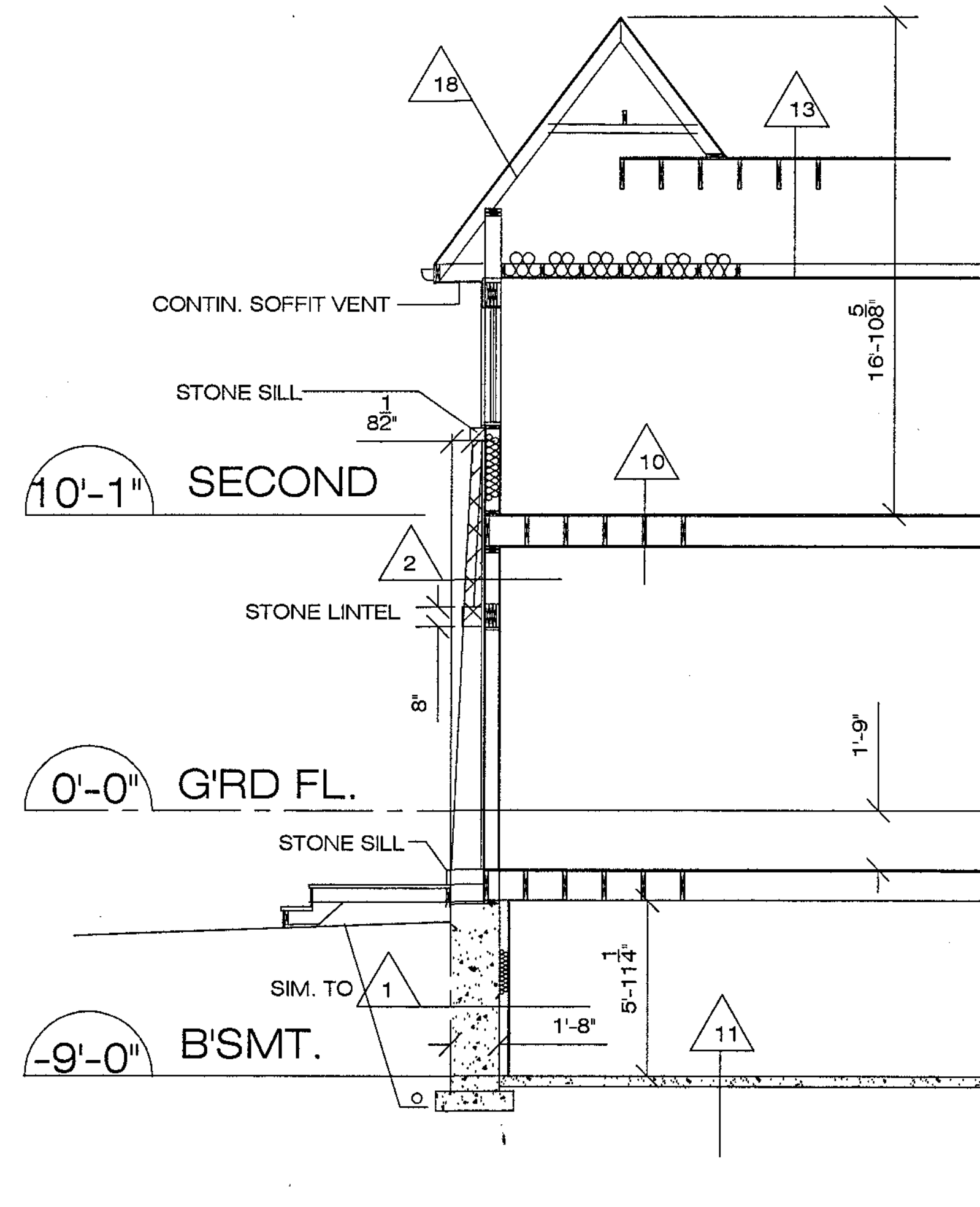


Scale 1/4" = 1'-0"
Printed
Date MARCH 04

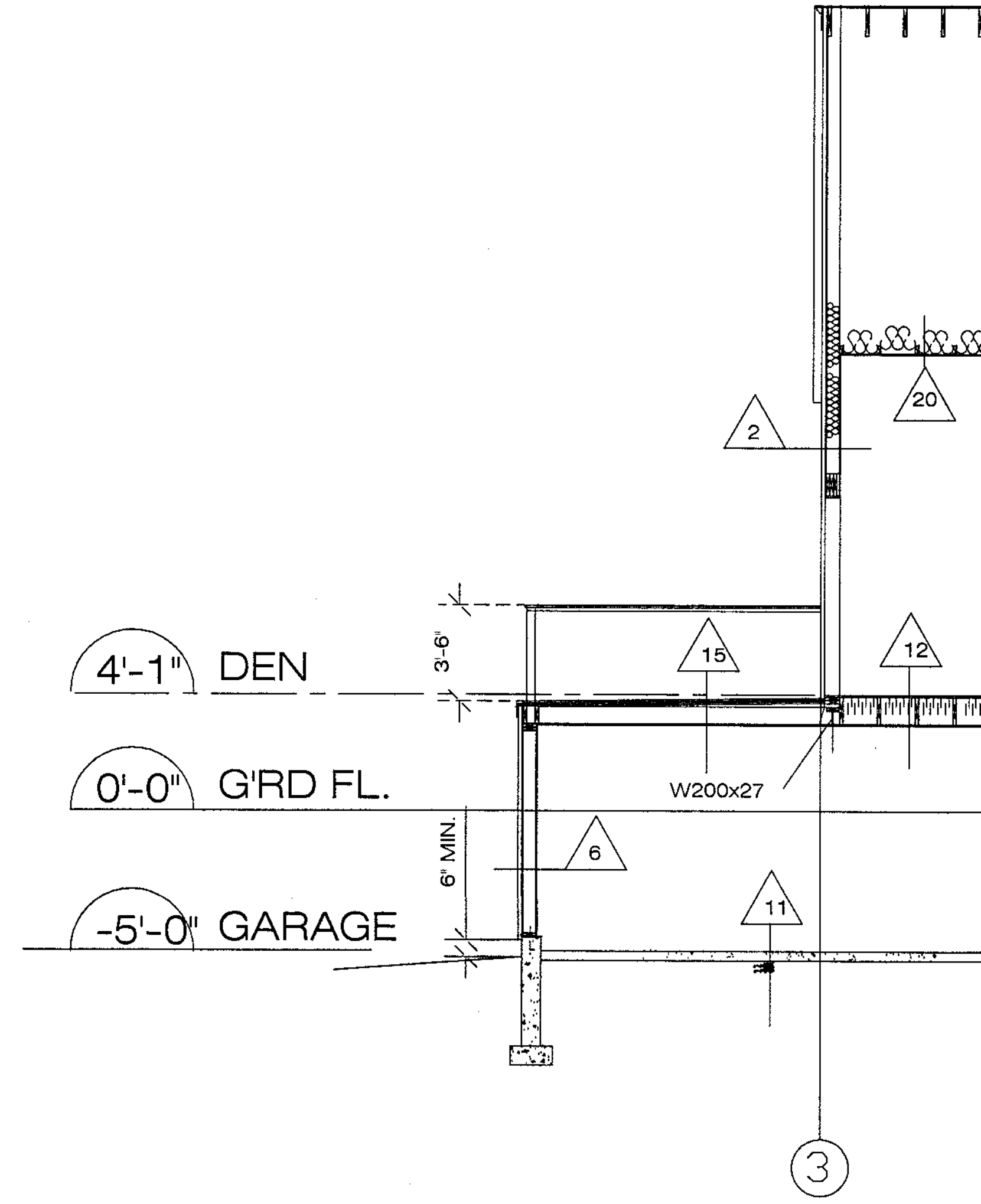
Steven M. Eskind
Architect
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

RESIDENCE
ALIA KUJAD
COLLINGWOOD, ONTARIO
ENTR.-KITCHEN SECT.

A6
#306



1 ENTRANCE SECTION



2 DECK SECTION

RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO

Steven M. Eskind Architect

**51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589**

MISC. SECTIONS

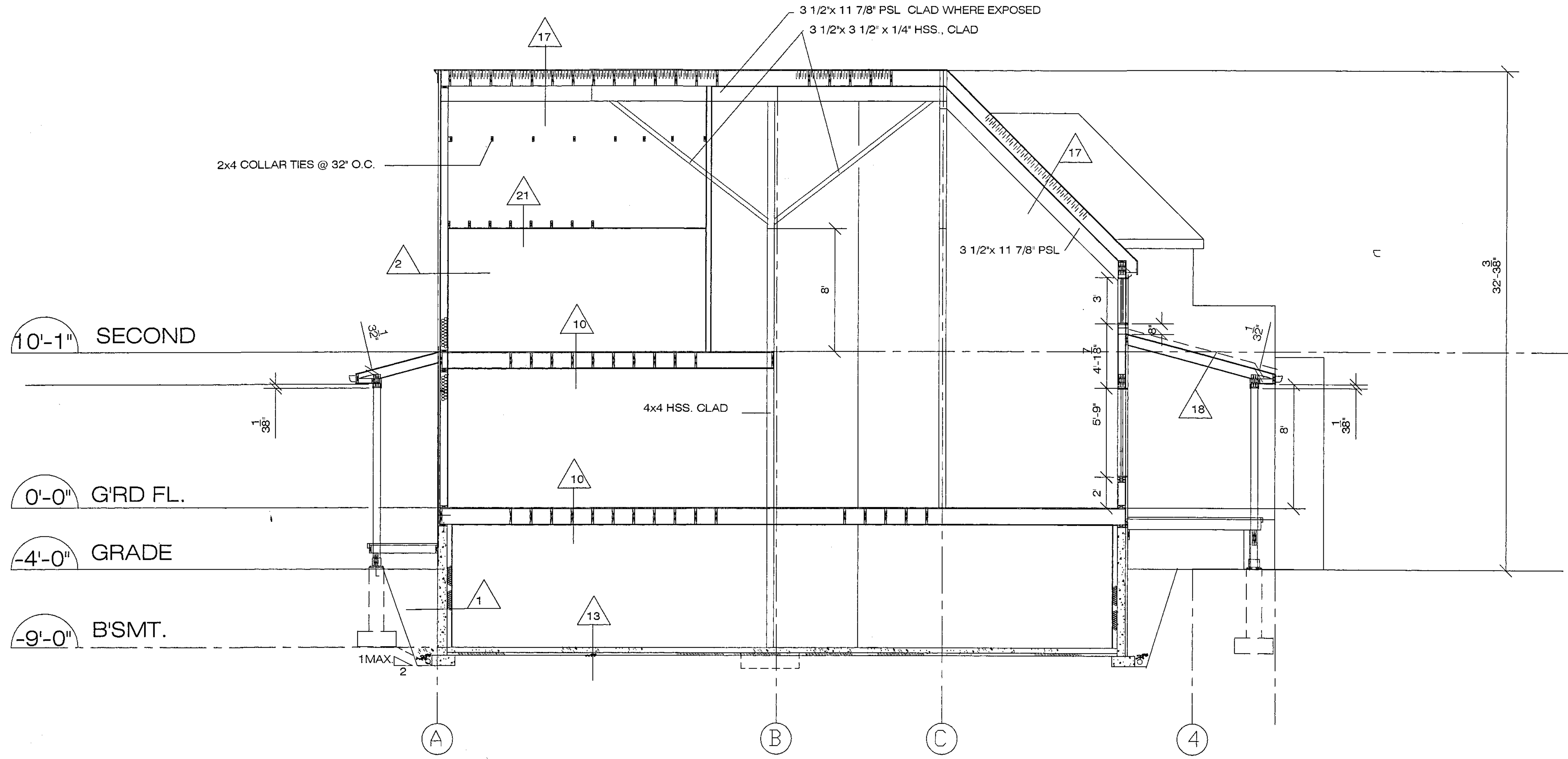
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Printed

Date _____ MARCH 04

A7





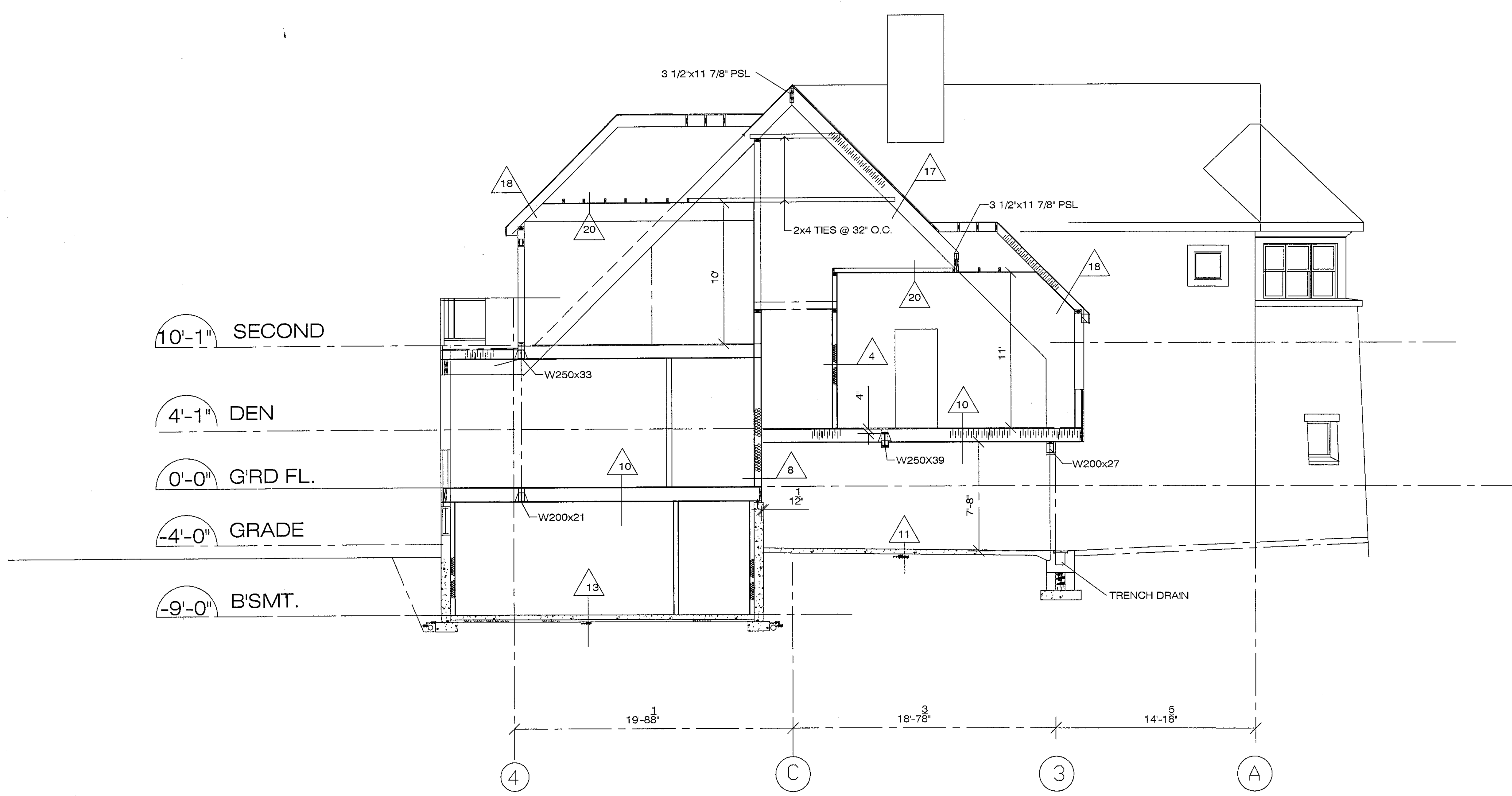
Steven M. Eskind
Architect

51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

RESIDENCE
ALIA KJAD
COLLINGWOOD, ONTARIO
LIVING RM. SECTION

Scale 1/4" = 1'-0"
Printed
Date MARCH 04

A8
#306



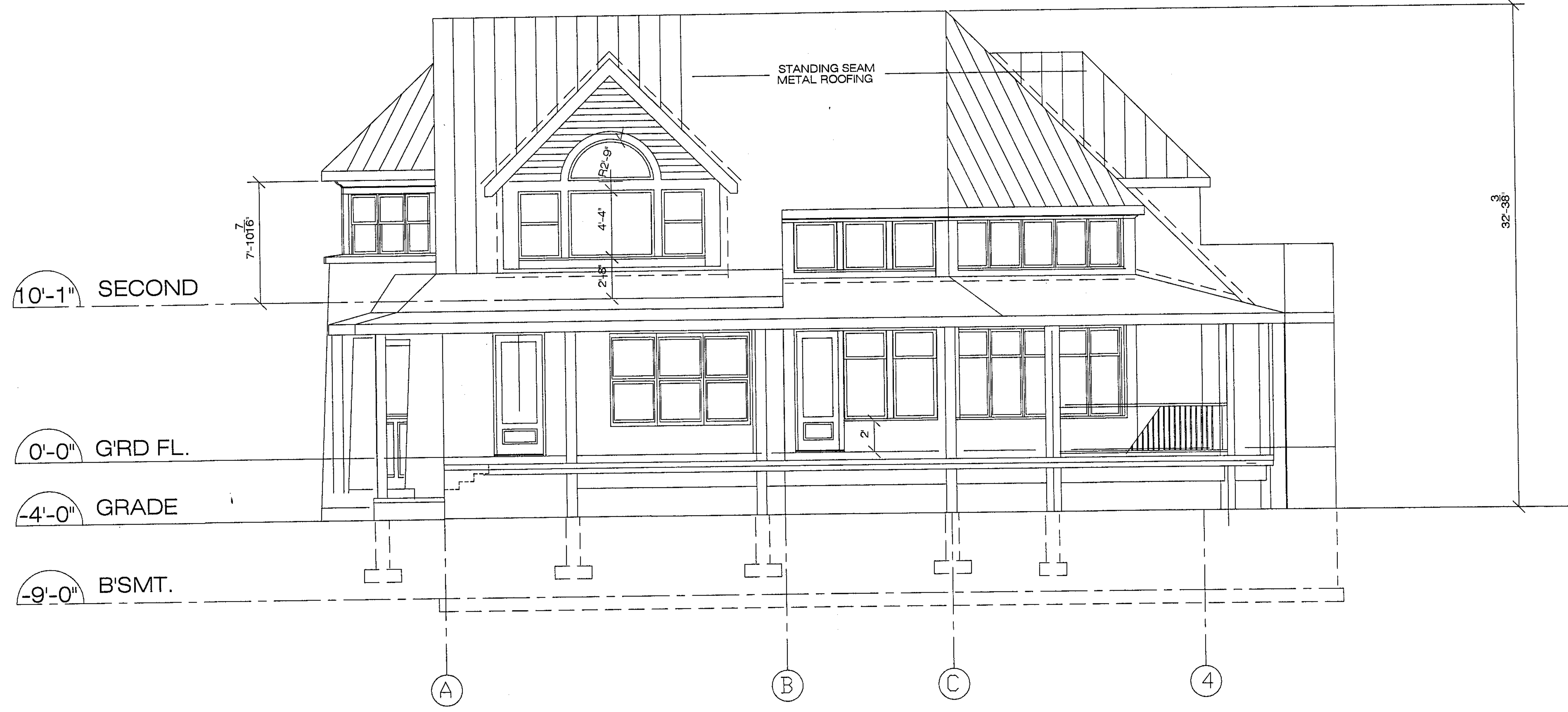
RESIDENCE
ALIA KUDAD
COLLINGWOOD, ONTARIO

Steven M. Eskind
Architect
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

Scale 1/4" = 1'-0"
Printed
Date MARCH 04

A9
#306

GARAGE SECTION



Steven M. Eskind
Architect

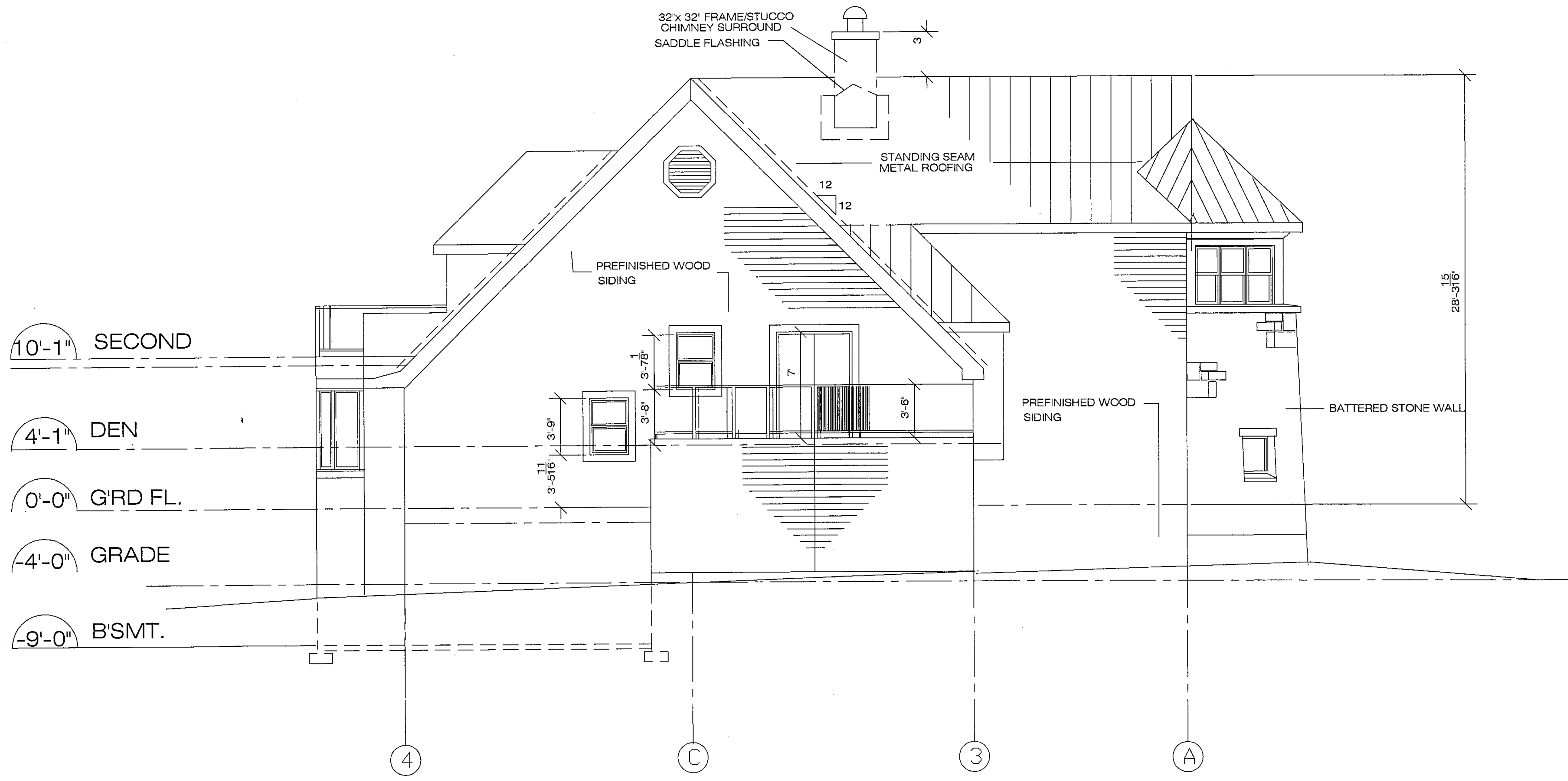
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO
SOUTHWEST ELEVATION

Scale 1/4" = 1'-0"
Printed

Date MARCH 04

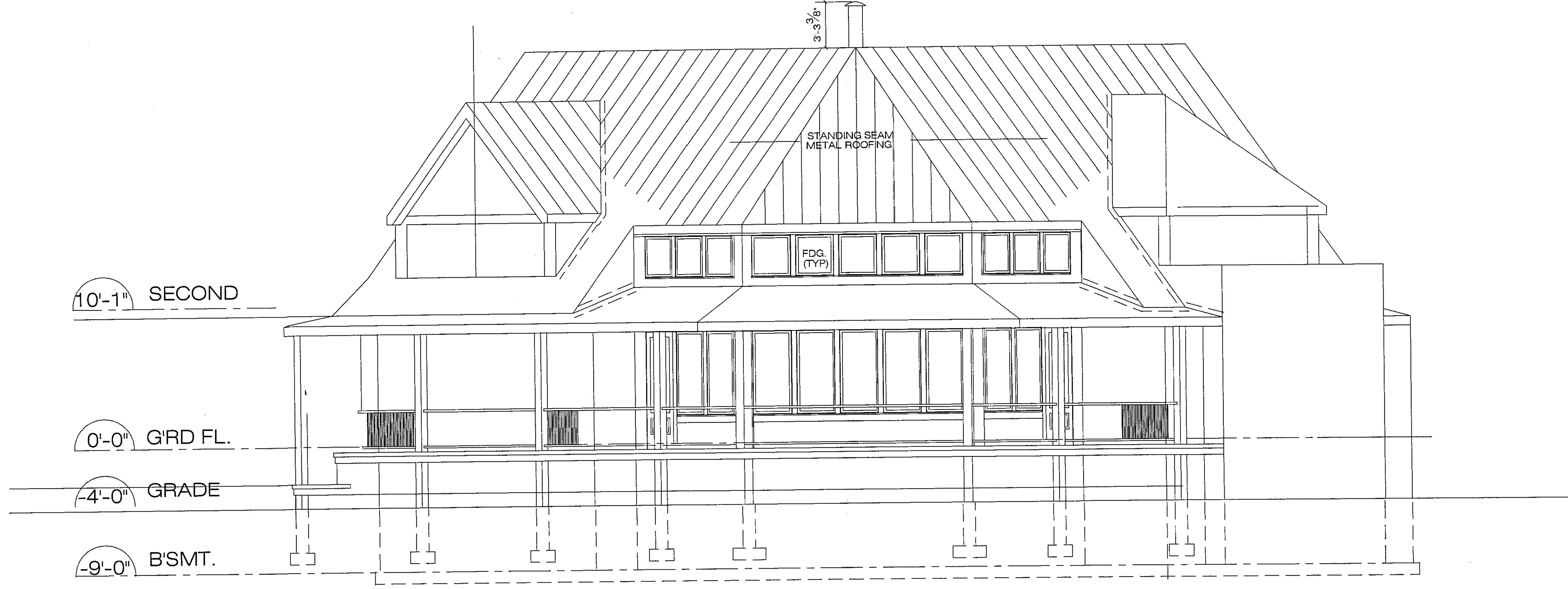
A10
#306



Steven M. Eskind
Architect
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO
NORTHEAST ELEV.

Scale 1/4" = 1'-0"
Printed
Date MARCH 04
A13
#306



Scale 1/4" = 1'-0"
Printed
Date MARCH 04

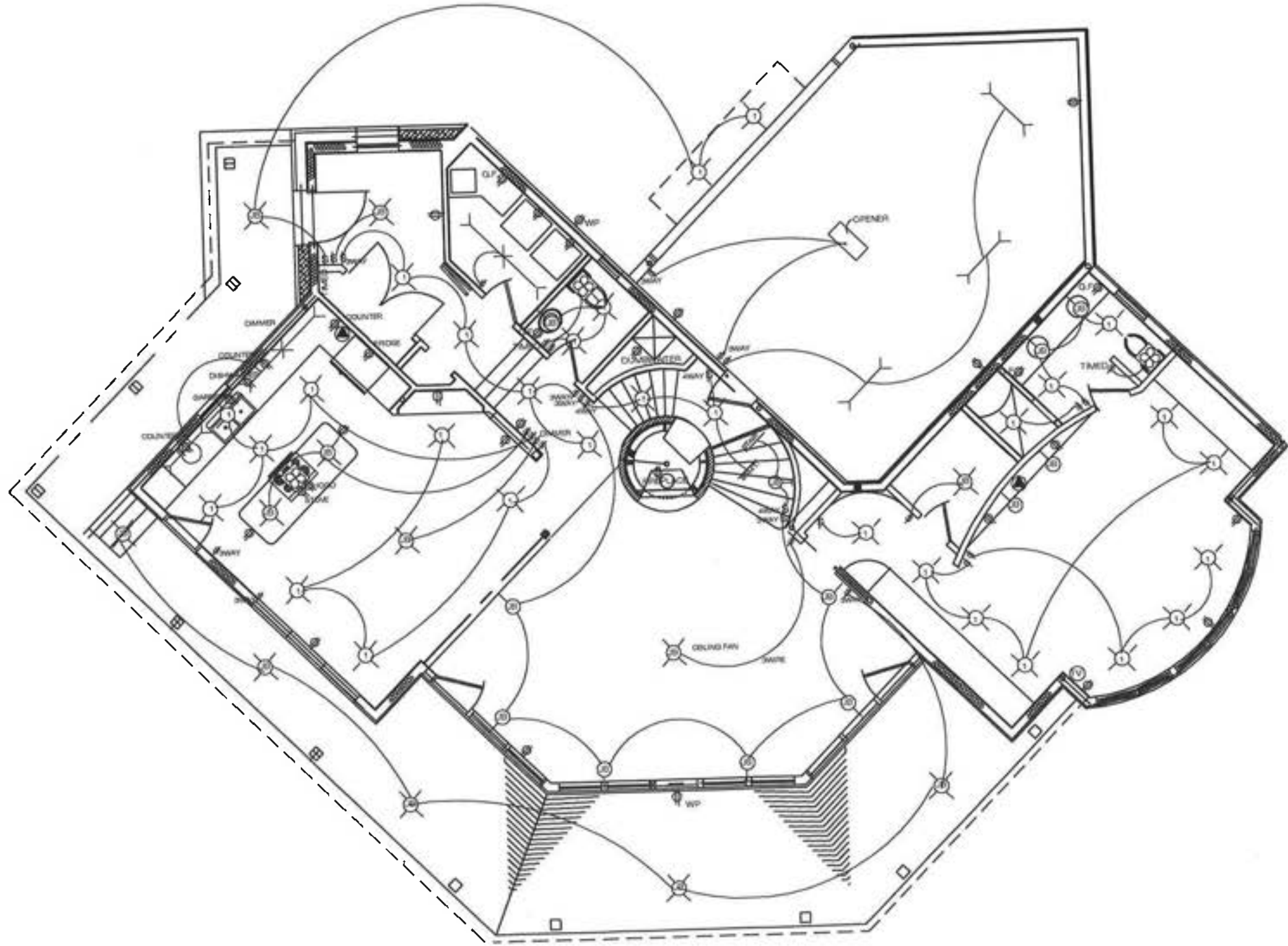
Steven M. Eskind
Architect
51 Dunvengan Road
Toronto, ONTARIO M4V 2P5
Tel: 416 968 7589

RESIDENCE
ALTA ROAD
COLLINGWOOD, ONTARIO
SOUTH ELEVATION

A14
#306

LEGEND

-  EXHAUST FAN
-  INTERCOM
-  SWITCH
-  DIMMER SWITCH
-  DUPLEX RECEPTACLE
-  GROUND FAULT RECEPTACLE
-  JUNCTION BOX
-  WALL MTD. JUNCTION BOX
-  CABLE TV
-  TELEPHONE OUTLET
-  SPEAKER
-  WEATHER PROOF OUTLET
-  PRODUCT OF COMBUSTION DETECTOR
-  FLUORESCENT FIXTURE
-  POT LIGHT
-  COMPUTER CABLE NETWORK



Scale 1/8" = 1'-0"

Printed

Date JAN 04

Steven M. Eskind
Architect
51 Dunvegan Road
Toronto, M4V 2P5
Tel: 416 968 7589

RESIDENCE
Alta Road
Collingwood, Ontario

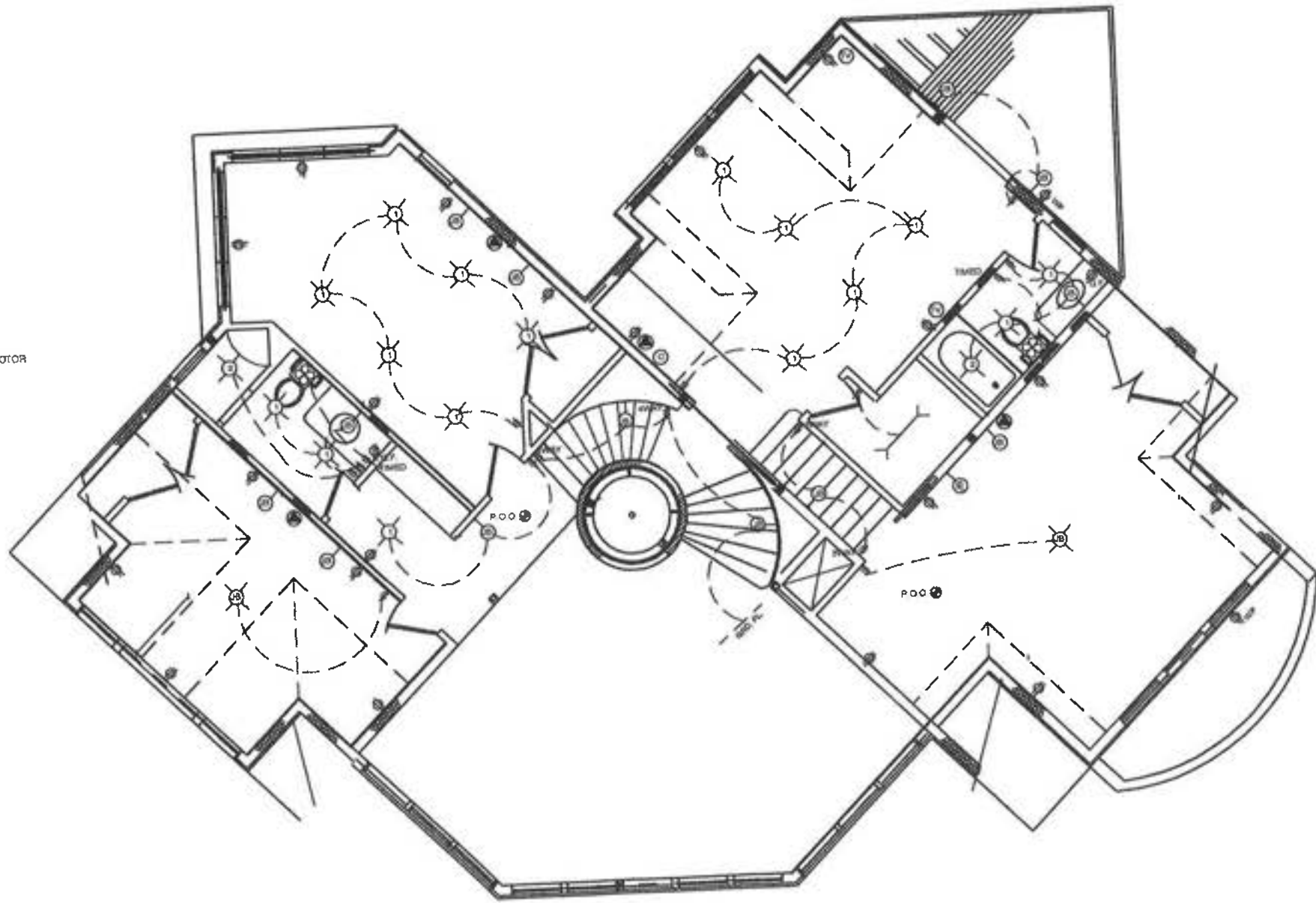
GROUND. FL. ELEC.

E3

#306

LEGEND

-  EXHAUST FAN
-  INTERCOM
-  SWITCH
-  DIMMER SWITCH
-  DUPLEX RECEPTACLE
-  G.F. GROUND FAULT RECEPTACLE
-  JUNCTION BOX
-  WALL MTD. JUNCTION BOX
-  CABLE TV.
-  TELEPHONE OUTLET
-  SPEAKER
-  WP WEATHER PROOF OUTLET
-  PRODUCT OF COMBUSTION DETECTOR
-  FLUORESCENT FIXTURE
-  POT LIGHT
-  COMPUTER CABLE NETWORK



Scale 1/8" = 1'-0"

Printed

Date JAN 04

Steven M. Eskin
Architect
 51 Dunvegan Road
 Toronto, M4V 2P5
 Tel: 416 968 7589

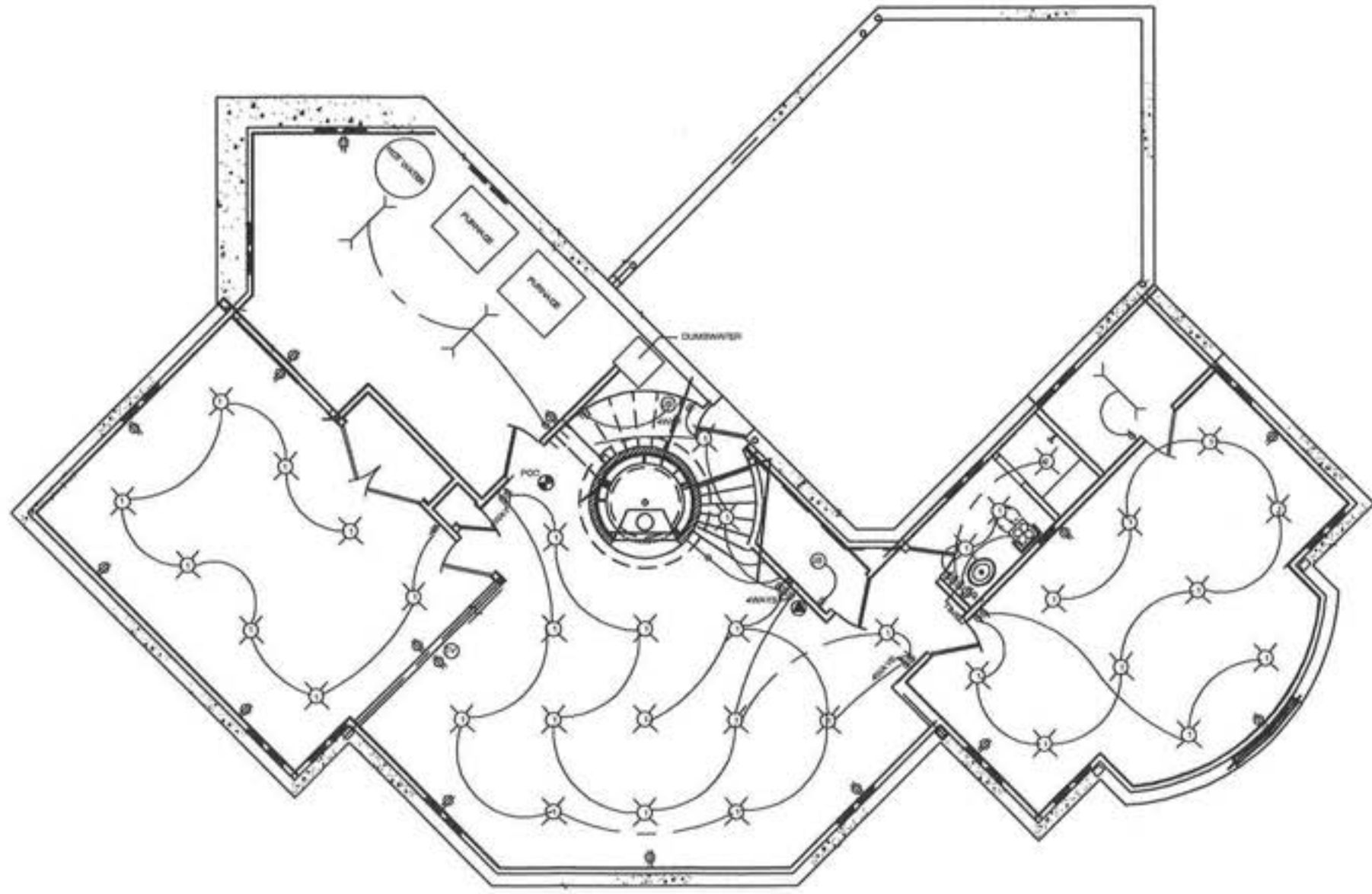
RESIDENCE
 AITA ROAD
 Collingwood, Ontario
SECOND FL. ELEC.

E4

#306

LEGEND

-  EXHAUST FAN
-  INTERROOM
-  SWITCH
-  DIMMER SWITCH
-  DUPLEX RECEPTACLE
-  G.F. GROUND FAULT RECEPTACLE
-  J.B. JUNCTION BOX
-  WALL MTD. JUNCTION BOX
-  CABLE TV
-  TELEPHONE OUTLET
-  S.P. SPEAKER
-  W.P. WEATHER PROOF OUTLET
-  PRODUCT OF COMBUSTION DETECTOR
-  FLUORESCENT FIXTURE
-  POT LIGHT
-  COMPUTER CABLE NETWORK



RESIDENCE
Alta Road
Collingwood, Ontario

B'SMT. ELEC.

Steven M. Eskind
Architect
51 Dunvegan Road
Toronto, M4V 2P5
Tel: 416 968 7589

Scale 1/8" = 1'-0"

Printed

Date JAN 04

E2

#306

- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL LABOUR AND MATERIALS NECESSARY TO INSTALL WIRING, FIXTURES, KITCHEN EQUIPMENT, HEATING AND AIR CONDITIONING, ELECTRICAL HEATING AND CONTROLS.
- THE ELECTRICIAN SHALL COORDINATE WORK WITH ALL OTHER TRADES.
- TERMINAL HOOK-UP IS REQUIRED OF ALL FIXTURES, APPLIANCES MOTORS, FANS, CONTROLS ETC.
- ALL SWITCHES AND RECEPTACLES ON EXTERIOR WALLS TO BE INSTALLED WITH SHIELDS FOR DRAFT CONTROL
- SUPPLY AND INSTALL ALL FIXTURES WITH LAMPS. INSTALL OWNER'S WALL AND CEILING FIXTURES
- PROVIDE WIRING AND RECEPTACLES FOR T.V. CABLE, TELEPHONE AND SPEAKERS AS INDICATED.
- BURGLAR ALARM SYSTEM INSTALLED UNDER SEPARATE CONTRACT
- THE ELECTRICIAN SHALL INSTALL ALL LINE VOLTAGE WIRING WITH DISCONNECTS, ELECTRICAL HEATERS, AND EXHAUST FANS AS INDICATED ON THE MECHANICAL DRAWINGS.
- THE ELECTRICIAN SHALL INSTALL ALL APPLIANCES AND PROVIDE ALL SWITCHES SUB-PANELS AND DISCONNECTS AS REQ'D.
- PRODUCT OF COMBUSTION DETECTORS SHALL BE:
 - EQUIPED WITH VISUAL INDICATION THAT THEY ARE OPERATIONAL
 - CONNECTED TO BUILDINGS ELECTRICAL SUPPLY WITHOUT DISCONNECT
 - MOUNTED ON ELECTRICAL BOX
 - SERVED BY CIRCUIT NOT INTERCONNECTED WITH ANY WALL OUTLET
 - TESTED RATED AND LABELLED BY AN IMPARTIAL TESTING AND INSPECTION AGENCY
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF THE HOUSE AND INTERCONNECTED TO THE SMOKE ALARM SYSTEM.

LEGEND



EXHAUST FAN



INTERCOM



SWITCH



DIMMER SWITCH



DUPLEX RECEPTACLE



GROUND FAULT RECEPTACLE



JUNCTION BOX



POT LIGHT



WALL MT'D. JUNCTION BOX



CABLE TV.



TELEPHONE OUTLET



SPEAKER



WEATHER PROOF OUTLET



PRODUCT OF COMBUSTION DETECTOR



FLUORESCENT FIXTURE



PORCELAIN KEYLESS FIXTURE

FIXTURE SCHEDULE

Scale 3/16" = 1'-0"

Printed

Date JAN'04

Steven M. Eskin

Architect

51 Dunvegan Road

Toronto, M4V 2P5

Tel: 416 968 7589

RESIDENCE

ALIA KU., LOT 65
COLLINGWOOD, Ontario

EN

#306

ELECTRICAL NOTES

NOTE: FOUNDATION WALL DRAINAGE AS PER ONTARIO BUILDING CODE (OBC).

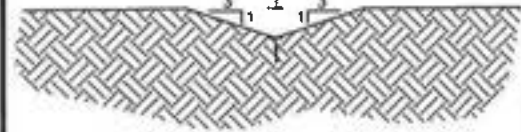
CAUTION

ALL UNDERGROUND UTILITIES TO BE LOCATED/VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.

TYPICAL SIDEYARD SWALE SCALE

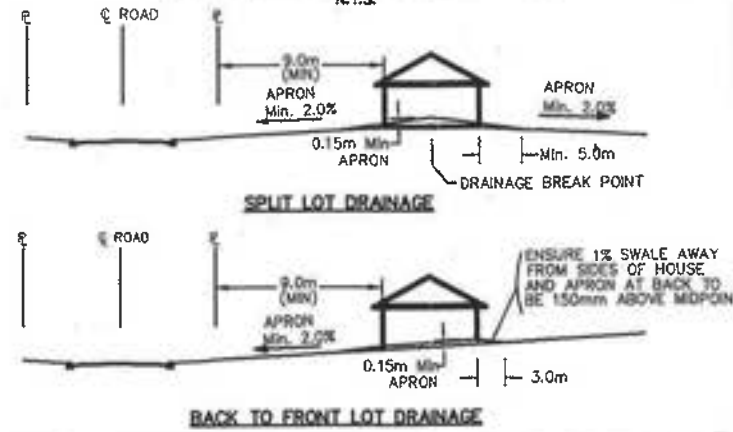
N.T.S.

MIN. 0.3m DEEP



TYPICAL GRADING DETAILS

N.T.S.



ROOF LEADER SOAK-AWAY-PIT

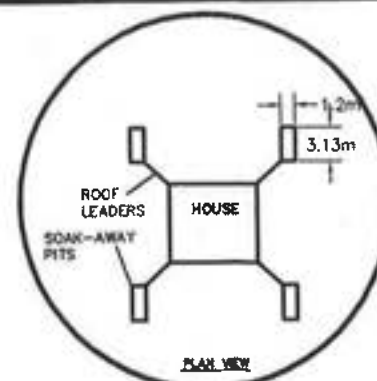
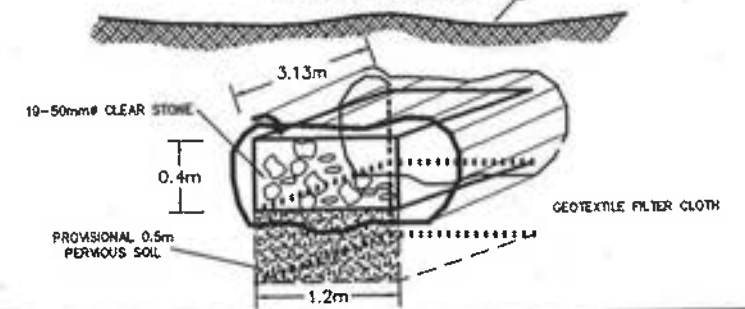
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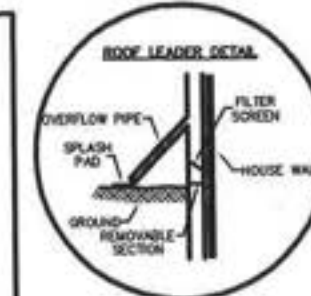
- NOTE
1. PRIOR TO INSTALLATION OF SOAKAWAY PITS CONFIRMATION OF SUITABLE EXISTING SOIL CONDITIONS IS REQUIRED. SOIL CONDITIONS MUST BE $\geq 15\text{mm/hr}$ (MOE DESIGN MANUAL 1994).
 2. IF EXISTING SOIL CONDITIONS ARE NOT SUITABLE, AN ADDITIONAL 0.5m OF EXISTING SOIL CONDITIONS ARE TO BE EXCAVATED AND REPLACED WITH 0.5m OF PERVIOUS SOILS (WITH A PERCOLATION RATE $\geq 15\text{mm/hr}$). A PROVISIONAL 100mm SUBDRAINAGE IS REQUIRED AND TO HAVE A POSITIVE OUTLET, IF THE ABOVE NOTED CONDITIONS EXIST.
 3. 4- SOAK-AWAY PITS REQUIRED PER HOUSE AS PER PLAN VIEW DETAIL.

Roof Leader Discharge to Soakaway Pit
(Source: Modified from MOEE Planning & Design Manual, 1994)

TYPICAL SOAKAWAY DETAIL



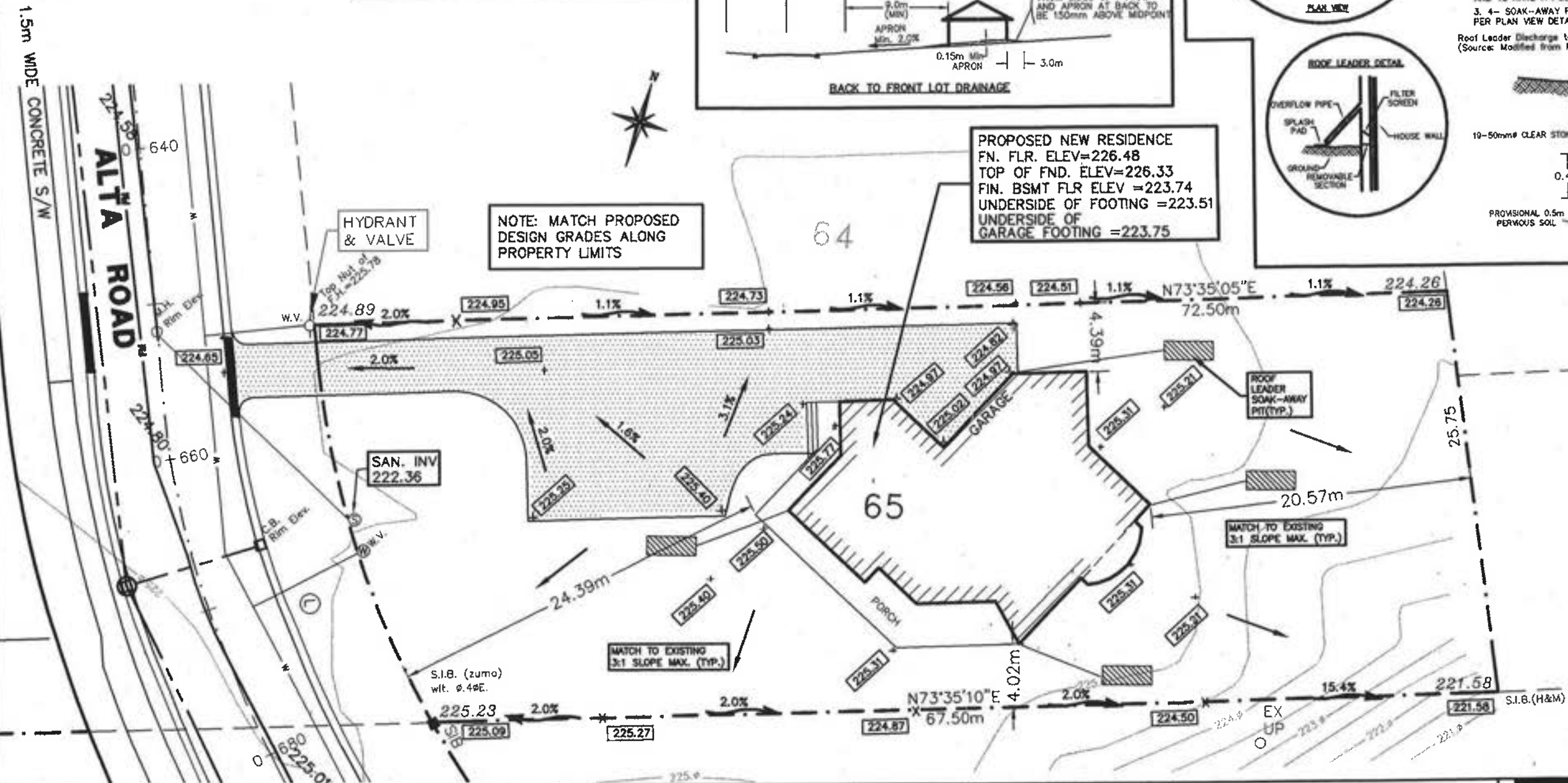
PLAN VIEW



ROOF LEADER DETAIL

PROPOSED NEW RESIDENCE
FN. FLR. ELEV=226.48
TOP OF FND. ELEV=226.33
FIN. BSMT FLR ELEV =223.74
UNDERSIDE OF FOOTING =223.51
UNDERSIDE OF GARAGE FOOTING =223.75

NOTE: MATCH PROPOSED DESIGN GRADES ALONG PROPERTY LIMITS



LEGEND

- EXISTING CONTOURS
- EXISTING ELEVATION
- PROPOSED ELEVATION
- DRAINAGE DIRECTION
- SIDEYARD SWALE (REFER TO DETAIL)
- LIGHT STANDARD
- SOAK-AWAY PIT (REFER TO DETAIL)

INFORMATION FOR THIS SITE PLAN TAKEN FROM PLAN OF SURVEY OF LOT 65 REGISTERED PLAN 1127 TOWN OF BLUE MOUNTAINS COUNTY OF GREY AS PREPARED BY ZUBEK, EMO, PATTEN & THOMSEN LTD. DATED JANUARY 23, 2004

LOCAL BENCHMARK ELEV 223.358
RAIL ROAD SPIKE IN WEST FACE OF HYDRO POLE c/w GUY WIRE ON EAST SIDE OF ARROWHEAD ROAD, OPPOSITE MUNICIPAL ADDRESS #88.

TEMPORARY BENCHMARK ELEV 225.748m
SPIKE IN THE EAST FACE OF THE HYDRO POLE ADJACENT TO LOT 1 (SOUTH SIDE) AND ON THE EAST SIDE OF ALTA ROAD.

No.	Issue / Revision	Date
1	Client Review and Approval	Apr 22, 2004



Project Title
**LOT 65
REGISTERED PLAN 1127
GRADING SITE PLAN
ALTA SUBDIVISION**

**TOWN of THE
BLUE MOUNTAINS**

BURNSIDE
R. J. Burnside & Associates Limited
3 Ronell Crescent, Collingwood, Ontario
telephone (705) 448-0515 fax (705) 448-2309

Drawn By J. O'Neill	Checked By S. Morash	Drawing No. GR1
Scale 1:300	Project No. PG-04-6560-L65	



328 First Street
Collingwood, Ontario
L9Y 1B4

Tel: (705) 444-4773
Fax: (705) 444-6910
E-mail: rmoore@georgian.net

This drawing is the property of Moore Landscape Architecture and Contracting Ltd. and reproduction is prohibited without prior written approval.

The Contractor is to check and verify all dimensions and report any discrepancies to Moore Landscape Architecture and Contracting Ltd. prior to construction.

This drawing is not to be used for construction unless properly designated as by Moore Landscape Architecture and Contracting Ltd.

This drawing is not to be scaled.

STAMP

LEADING

NO DATE BY REVISION

PROJECT

Residence

Alta Road
Collingwood, ON

DRAWING TITLE

Layout Plan

CHECKED BY

RM

SCALE

1'-0"=1/8"

ISSUED

RM

DATE

08.25.05

DRAWN BY

MW

PROJECT NUMBER

NORTH



DRAWING NUMBER

LP-1

SEE MATCHLINE A-A THIS SHEET

Dimension off corner of deck
Center stairs and walk off front door
Shrub bed included in phase 1
Align planter bed and walkway off edge of deck
Shrub bed included in phase 1
Align center paving pattern with center of walkway
Align edge of paving off edge of deck
3 car parking
Center line
1'-0" verify in field
12'-0"

ALTA ROAD

SEE MATCHLINE A-A THIS SHEET

PROPERTY LINE

EXISTING TREES

EXISTING TREES

SEE MATCHLINE A-A THIS SHEET

SEE MATCHLINE A-A THIS SHEET



26 Bridge Street E.
Box 310, Thornbury, N0H 2P0
Tel: (519) 599-3131
Fax: (519) 599-6032

COMPLETION NOTICE CERTIFICATE OF RESIDENTIAL OCCUPANCY

ADDRESS/911 NO.: <u>147 ALTA RD</u>				PERMIT NO.: <u>4-47</u>
LOT NO.: <u>65</u>	CONC. NO.:	PLAN NO.: <u>1127</u>	ROLL NO.: <u>06-274-98</u>	ZONING: <u>R3-111</u>
ISSUED TO (OWNER/AGENT): _____				

SUBSEQUENT TO THIS INSPECTION AND ROUTINE INSPECTION DURING CONSTRUCTION THIS CERTIFICATE INDICATES THAT THE MINIMUM REQUIREMENTS OF THE ONTARIO BUILDING CODE RELATED TO OCCUPANCY HAVE BEEN COMPLIED WITH AND THAT:

- ☒ This dwelling unit complies with all applicable Ontario Building Code regulations and the permit file is now closed. O.K. to OCCUPY
- ☐ This dwelling unit is partially completed and complies with the requirements of 2.4.3.2. (1) OBC for an unfinished building. O.K. to OCCUPY
*A Final Inspection is required and notice shall be given to the Chief Building Official upon readiness for a final inspection.
A re-inspection fee will be invoiced to the owner/builder.
All temporary safety measures shall remain in place until all remaining work has been completed.*
- ☒ Lot grading has been certified. Maintain drainage swales or features as designed; no changes permitted prior to approval.

INSPECTOR'S NAME: A WOOLNOUGH SIGNATURE: [Signature] DATE: Jan 19/07

THE ISSUANCE OF THIS CERTIFICATE DOES NOT CERTIFY THAT THE SUBJECT BUILDING OR PORTION THEREOF IS IN FULL COMPLIANCE WITH ALL PROVISIONS OF THE ONTARIO BUILDING CODE OR OTHER APPLICABLE LAW.

EXTERIOR

- ☒ Lights at Doors
- ☒ Pedestrian Access
- ☒ Cladding, Flashing, Caulking
- ☒ Window Wells
- ☒ Soffit, Exhaust Covers
- ☒ Backflow Preventors
- ☒ Foundation Clearance to Grade
- ☒ Grading Complete

FOUNDATION DRAINAGE DISPOSAL

- ☐ Sump Pump NA
- ☐ Drywell/Soak Away Pit GRAVITY TO RAVINE

WATER & SEPTIC SYSTEM

- ☒ Potable Water - Private/Municipal
- ☐ Approved Health Unit Septic System

SECURITY

- ☒ Dead Bolts
- ☒ Door Viewer/Sidelight

BASEMENT

- ☒ Finished Areas 80 %
- ☒ Required Egress Window
- ☒ Protection of Foamed Plastics
- ☒ Exterior Wall Insulation
- ☒ Structural Overview
- ☒ Heating System
- ☒ Plumbing System
- ☐ Cold room sealed, vented NA

FIREPLACES

- ☒ Location INT. WALL
- ☒ Type GAS/O CLEAR.

GENERAL

- ☒ Self-closer at Garage
- ☒ Gasproofing
- ☒ Garage 45 min. F.R.R.
- ☒ Lighting
- ☒ Attic Insulation/Access
- ☒ Headroom
- ☒ Resilient Flooring

VENTILATION

- ☒ Part 9 Design
- ☐ Part 6 Design
- ☒ HRV Installed
- ☒ Outside Air Supply
- ☒ Exhaust Fans

PLUMBING

- ☒ P Traps
- ☒ No Leaks
- ☒ Fixtures anchored
- ☒ Anti-scald Device(s) MASTER F.C.

HANDRAILS, GUARDS, STEPS

- ☒ Main Entrance OK
- ☒ Other Ext. Doors OK
- ☒ Interior Stairs OK
- ☐ Sliding Doors NONE
- ☒ Exterior Deck OK

SMOKE ALARMS/DETECTORS

- ☒ Smoke Alarms & Carbon Monoxide
- ☐ Carbon Monoxide Detectors

COMMENTS: CLOSE FILE

Exterior Paint Colours

Where?	Element	Company	Colour Name	Number	Paint type	Comments
Front Door	Ceilings	C2	Ka Ching	693	Exterior Latex Semi-Gloss Accent Base	dark green, bluish; 193 A interior number (?)
	Frame	C2	Timbuku	614	Exterior	medium brown, reddish cast
	Threshold	C2	Brunette	597	Exterior Latex Semi-Gloss Accent Base	medium brown, darker than Timbuku
Siding	Main area	Ralph Lauren	Willow Hedge	GH68	Exterior	C2 paint used in 2022; RGB: 139 147 135 HEX: #8B9387; LRV: 28.18%
	Trim	Dulux	White Base		Exterior	C2 paint used in 2022

Interior Paint Colours

Floor	Room	Company	Colour Name	Number	Colour Code	Leaf	Comments
All	Ceilings	ICI	White				
	Window & door frames		stain				
	baseboards		stain				
	paint type						round shower room--paint white diamond matte latex most rooms, eggshell latex kitchen and bathrooms
Basement	Bedroom	C2	Radiate		2386 P G7		doors semigloss, same colour
	Hall areas (see diagram)	C2	Radiate		2386 P G7		doors semigloss, same colour
	Washroom	ICI	Shell Coast	492	10YY 69/238	37	door semigloss, same colour
	Pool Table Room	C2	Churchill		4416 M K14		doors semigloss, same colour
	Play Area (see diagram)	ICI	Crimson Red	192	31YR 10/591	4	face of shallow bulkhead, too
Main	Kitchen, dining, living rooms	ICI	Miller's Cove	957	10GY 56/073	194	doors stained like trim
	up staircase	ICI	Miller's Cove	957	10GY 56/073	194	door semigloss, same colour
	Master bedroom	C2	Hint		4010 W A11		doors same colour, alkyd semigloss ? pocket door stained like trim
	Master Ensuite	ICI	Reflection	1089	90GY 83/033	131	door semigloss, white ?
	Foyer, Hall	ICI	Mendocino	1302	30BG 43/077	201	doors stained like trim
	down staircase	ICI	Mendocino	1302	30BG 43/077	201	door semigloss, same colour
	Laundry Room	ICI	Reflection	1089	90GY 83/033		door stained like trim
	Powder Room	BenMoore	Castleton Mist		HC-1 2B	H1	above wainscoting; door stained pine
	Powder Room wainscoting	ICI	White				on cabinet & closet door bottoms, walls
Mid-level	Media Room, straight stairca	Behr	Painted Turtle		710F-6D	710F	including sloping walls up to ceiling
	Media Room	Behr	Black Swan		710F-7D	710F	façade around big screen (1 surface)
	Bathroom ("Spa")	ICI	Glacier Ice	1222	70GG 73/075	107	door semigloss, white ?
Over Master	Mitch's Bedroom	ICI	Ginger Root	373	90YR 35/383	85	doors semigloss, same colour
	loft						white with Ginger Root gloss door
Upper Level	Hall, Linen Closet	ICI	Miller's Cove	957	10GY 56/073	194	doors semigloss, same colour
	Bailey & Jonathan's Bedroom	BenMoore	Blue Viola		CC-940 1B	C940	doors semigloss, same colour
	Round Shower Washroom	ICI	Blue Stemware	1513	30BB 55/152	68	doors semigloss, same colour, baseboard semigloss, white
	Children's bedroom	BenMoore	Palladian Blue		HC-144 1B	H142	doors semigloss, same colour

SCHEDULE B
RESTRICTIVE COVENANTS

1. Burdened and Benefited Lands

The lands to which these restrictive covenants shall be annexed are Lots 1 to 65 both inclusive on Plan 1127, Town of Blue Mountains, County of Grey (the "Plan of Subdivision"). These restrictions except clause 12, shall run for a period of 15 years from the date that this Document General to which these restrictions are attached is registered and shall run with and be binding upon Lots 1 to 31 both inclusive and Lots 33 to 65 both inclusive on the Plan of Subdivision (the "Burdened Lands") for the benefit of Lot 32 on the Plan of Subdivision (the "Benefited Land"). The transferors of the Burdened Lands shall extract similar covenants from any transferees of the Burdened Lands in the event of a transfer thereof.

2. Architectural / Site Plans

No building, as defined in the Ontario Building Code Act as amended, shall be erected or constructed on any of the Burdened Lands, unless:

- (a) the location thereof and a site plan showing all existing and finished grades, all areas to be landscaped, driveways and parking areas have been approved by Tabera Ltd. ("Tabera") in writing such approval not to be unreasonably withheld, all of which shall be compatible with the natural topography, trees, landscape and the preservation of the natural and built amenities of the Plan of Subdivision and adjacent lands;
- (b) all relevant conditions of the subdivision agreement dated October 7th, 2002 (the "Subdivision Agreement") between Tabera and the Corporation of the Town of the Blue Mountains (the "Town") and required to be complied with prior to the commencement of erection or construction have been complied with;
- (c) a permit has been issued by the chief building official for the Town to allow the erection or construction of the building including all relevant service systems appurtenant thereto;
- (d) all plans must be prepared by a certified architect;
- (e) each building shall be designed in accordance with the design guidelines attached as Schedule "A"; and
- (f) Tabera shall have its architect review all plans prior to final submission to the Town for building permit. Tabera reserves the right to have the lot owner make modifications to the plans in accordance with the design guidelines, attached as Schedule "A".

3. Drawings

Drawings in accordance with all applicable requirements of the Subdivision Agreement providing sufficient information for review and approval drawn to scale appropriate in the circumstances, shall be submitted to each authority from whom an approval is required in clause 2 of these restrictive covenants and all changes thereto that may be required in order to grant an approval shall be made and incorporated into the working drawings from which the work shall be then constructed. One copy of the approved drawings shall be provided to each approving authority as a matter of record.

4. Construction

All buildings, driveways, parking areas, lot grading and site development shall be

BB A

constructed and maintained exactly in accordance with all approvals required in relation thereto. There shall be no storage of any materials on the portion of the lot not intended to be used in the building, nor prior to the start of construction. There shall be no temporary building or shelter constructed or brought on the lot.

5. Underground Services

All electrical, telephone and cable television wires on the lot originating from connections on public lands or utility easements shall be underground from such connections to the building or structure which they serve.

6. Construction Time Limit

The exterior of each building, including all finishing materials and finishes, shall be completed as approved within twelve (12) months of the date of the commencement of the construction of the building on the lot. All site work and improvements that are part of the approved drawings shall be completed within twenty-four (24) months of the aforesaid commencement. No work shall be done between 8:00 p.m. and 7:00 a.m. Monday to Saturday and between 8:00 p.m. and 10:00 a.m. on Sundays. Construction waste shall be placed in container, or dumpsters at the end of each working day.

7. Signage

No sign shall be displayed to public view except during construction a sign of not more than one (1) square meter identifying the premises or in relation to the construction thereof the builder or architect, or advertising the property for sale or rent or prohibiting trespassing or dumping on the lands.

8. No Obstruction

No lot owner shall store materials or obstruct any adjacent road allowances or boulevards or obstruct, cause, permit or maintain an obstruction of any drainage ditch, drainage swale or culvert, whether on his own lot or on public lands adjacent to the lot, and the street shall be kept clean and free of used stones and litter. There shall be no obstruction of pedestrian or vehicular traffic during construction.

9. Maintenance of Property Values

Each lot owner shall maintain the lot and all buildings, structures, fences, landscaping and ground cover thereon in a condition so as to not detract from the other properties in the development and the lands adjacent thereto, and so as to not lessen property values. No unsafe, environmentally hazardous or unsanitary conditions shall be created or maintained on any lot, nor shall garbage, rubbish, refuse, debris, scrap material, abandoned or unlicensed vehicles or other waste of any description be displayed outside of any building except for the purposes of immediate collection by a municipal or private agency.

10. Tree Preservation / Landscaping

No living trees in excess of 0.076 meters (3 inches) in diameter, measured 1 meter above the average surrounding grade, may be cut or removed from the lot, except in respect of driveways or within 2 meters of the exterior boundaries of the building or deck, pursuant to a valid building permit, without Tabera's, or in the absence thereof, the Town's approval. This prohibition does not preclude the removal of dead or dying portions of such trees. Native trees and plants related to the soil conditions are recommended and irrigation should be limited as much as possible. The front yard should have a natural effect. Landscaping shall be completed within twelve months (12) of issuance of an occupancy certificate. The lot owner and Tabera shall complete their respective landscape work within twelve (12) months of completion of the residence.

BBH

11. Animals

No animals, live stock, poultry, pigeons or exotic pets shall be raised, bred or kept on any lot except the usual household pets may be kept provided that they are not kept for commercial purposes.

12. Architectural and Landscape Guidelines

There shall be no brick, metal siding, plastic siding or other non-natural product used on the exterior face of any building or structure, which is erected upon the lot. Materials shall be limited to wood, stone and partial stucco. The exterior colour of any building or structure shall meet with the approval of Tabera. Slopping roofs only will be allowed and there shall be no heavy or large mass of any one feature in a building. The intent of Tabera is not to allow any colours, which do not compliment the natural feel of the lands comprising the Plan of Subdivision. These guidelines are more particularly described in Schedule "A".

13. Downhill Skiing Operation

Each lot owner acknowledges that the Plan of Subdivision is near to an existing downhill skiing operation and its attendant snowmaking and grooming activities which create noise and each lot owner acknowledges and accepts without objections all related activities from such operations, including without limitation trail cutting and agrees not to object or oppose such activities and this covenant may be pleaded as an estoppel or bar to any opposition or objection raised by any lot owner thereto. This covenant shall be unlimited in duration.

14. No Model Homes

There shall be no model homes constructed on any lot in the Burdened Lands or homes occupied as a residence and intended or used as a model home. This does not preclude a home to be built for the purpose of resale. This intent is that no home is to be built for the purpose of a demonstration and showing of future homes, which the lot owner intends to build.

15. Restrictions Severable

These covenants and restrictions shall be deemed independent and severable and the invalidity or unenforceability of any of covenants or restrictions shall not affect the validity or enforceability of the remaining covenants.

16. Enforcement / Variance

These restrictions may be enforced by Tabera and/or the owner from time to time of the Benefited Land against the owners of the Burdened Lands and all costs of such enforcement resulting from any action to enforce compliance shall be born by the owners of the Burdened Lands in question and in default of payment within thirty (30) days of demand may be registered as a lien against the affected Burdened Lands and/or collected in an action. Tabera and/or the owner from time to time of the Benefited Land shall have the right to vary such restrictions provided that Tabera and/or the owner from time to time of the Benefited Land acts reasonably in such determinations and in any variances hereunder.

SCHEDULE "C"

ALTA COMMUNITY

DESIGN GUIDELINES

INTRODUCTION

The purpose of these guidelines is to produce a community of common design elements utilizing a shared design vocabulary, while permitting individual expression in the design of the houses. The guidelines are meant to produce a warm and welcoming feeling to both the individual houses and the community streetscape as a whole. Consideration must be given to existing or future adjacent houses, avoiding any excessive or harsh design features. It is the goal of Tabera Ltd. ("Tabera") to achieve this while respectfully maintaining and enhancing the natural and rustic setting.

1. House Form

a. Massing and Roofs

1. The houses are to be no more than two and a half stories with the finished first floor no more than 60 cm above finished grade measured at the front entrance.
2. Two storey houses may fit their second storey habitable space within a roof that begins its slope about 3 m above finished grade so as to create a lower more welcoming profile to the house with second floor windows as dormers and/or at gables.
3. Any third floor habitable spaces must be incorporated within the roof line with windows as dormers and/or at gables.
4. The main roof of the house may only be a gable or cottage hip type with a slope of 8/12 to 12/12 or as approved Tabera.
5. Low slope or flat roofs are not allowed on the houses except for small deck or balcony situations.
6. The eaves of the main roof (and hence the start of the roof slope) must be no more than 5 m above finished grade.
7. Roofs shall have a minimum 16" overhang around the perimeter of the house

8. Shed or single sloping roofs are only permitted on accessory buildings and as porch/verandah roofs where they attach to the main walls of the house.

b. Windows

1. Skylights must be flat glass type only; no bubble skylights are permitted.
2. Both vertically oriented windows and ribbon windows are permitted.
3. Casement or single/double hung operating windows are permitted.
4. Bay windows are encouraged.

c. Porch/ verandahs/ entrances

1. One storey open or screened porches are encouraged and may wrap around corners.
2. Front entrances are to have either a covered porch or roof overhang for weather protection.
3. Porches may be glass enclosed at the rear of the house only.

2. Materials

a. Exterior walls

1. Walls may be made of horizontal or vertical wood siding, board and batten wood siding, cedar shakes/shingles or all natural stone. (type, colour and profile for Tabera's approval) These materials can be utilized in combination with each other.
2. Stucco may be used in combination with the above materials but only so that the stucco forms not more than 30% of the wall surface.
3. Wood siding must have either a pre-finished painted, stained or site applied paint or stain finish of low or no maintenance.
4. It is suggested that the paint or stain colour for wood siding and trim be in the earthtone range.
5. Gables shall be considered as exterior walls and must conform to the above requirements.

b. Roofs

1. Roofs shall be either cedar shingle or multi tab/ layered asphalt shingles such as IKO Chateau.
2. Asphalt shingles shall be preferably in earth tones such as "IKO Chateau Driftwood or Earthtone Cedar"; black and gray will also be accepted.

RB 11

3. Eaves troughs/gutters shall be made of pre-finished aluminum in earth tone colours, or copper.
4. All flashings shall be made of pre-finished aluminum in earth tone colours, or copper.

c. Windows

1. Unfinished or anodized aluminum or anodized metal is not permitted.

d. Chimneys/vents

1. It is preferred that chimneys be made of all natural stone or brick.
2. Exposed metal flue/vent pipes are not permitted on the exterior of the house unless enclosed in a framed box form (allowing for Ontario Building Code clearance requirements) which must in turn be covered in an exterior siding that conforms to the exterior wall requirements noted above.
3. Vent grilles/dampers/outlets in walls and roofs shall be of a colour to match the colour of the material surrounding it.

3. Parking

1. Garage door openings, carport and/or parking areas must be shielded and hidden from street view by offset/curved driveways and landscaping.
2. Garage doors facing the street must not take up more than 1/3 of the front facade of the house facing the street.
3. Each house shall provide for at least one indoor or sheltered car parking, plus one unsheltered parking spot.
4. Garages can either be attached or detached but must be well hidden from street view.
5. The garage can be located such that the garage door can face the street or be perpendicular to it.
6. Exterior garage walls and roofs shall conform to the wall and roof guidelines noted above for the house.
7. Driveways to be maximum 16 feet wide, for the first 16 feet. It is strongly recommended that driveways be finished with either pavers, open-grid type pavers or crushed stone/gravel.

B.B.K.

4. Fences and Retaining Walls

1. Houses should not be concealed by high walls or fences.
2. Retaining walls/walls may be made be of natural stone, brick or pressure treated timber. Concrete block or manufactured stone will not be accepted.
3. Retaining walls/walls are to be no more than 90 cm in height.
4. All fences and retaining walls /walls must conform to the Master Grading Plan.
5. Fences at the front of the lot (from the rear wall of the house to the front lot line) may be no more than 90 cm in height and use vertical or horizontal pickets at least 50% open.
6. Fences from the rear wall of the house to the rear lot line must be no greater than 2 meters in height; no spacing is required between boards on this rear fence.
7. Stone or masonry walls are not permitted in the rear yard beyond the rear wall of the house.
8. Fences are to be partially covered in vegetation.
9. Fences may be made of stained cedar or pressure treated wood.

5. Siting of the House

1. setbacks, coverage, height, building length must comply with by-law restrictions and requirements.
2. Site grading and drainage **must** comply with the site plans prepared by R.J. Burnside & Associates Ltd.
3 Ronell Cr., Collingwood L9Y 4J6
phone: 705-446-0515
fax: 705-446-2399
Drawings to be supplied to the individual lot owners.

6. Landscaping and Planting

1. Landscaping Plan to be approved by Tabera or Tabera's landscape architect.
2. All properties to be developed in a natural manner, retaining native trees, shrubs, flowers and grasses as well as emulating this natural look with any new landscaping in order to achieve a rustic setting.
3. Front, rear and side yards are to retain existing vegetation with native species and fruit trees added to reflect and augment the existing natural vegetation.
4. Lawns are recommended only for recreational purposes and should be kept to the absolute minimum, preferably in rear yard.

BBH

5. Shade trees to be located to provide summer cooling.
6. Each lot owner shall provide a buffer of a minimum of three 6 foot high trees at each side and/or between existing and future buildings. Trees and shrubs shall be planted on the front yards in order to achieve a rustic setting.

7. Design Review and Approval

1. All houses are to be designed by a registered architect. Landscaping plans for each lot are also required and must be designed by a registered landscape architect.
2. Sketch design plans for each house and lot landscaping are to be submitted for review and approval to Tabera. All plans shall be submitted to Tabera at Tabera's office, including a full size complete set of drawings.

RBA

**Town of The Blue Mountains**

32 Mill Street, P.O. Box 310

Thornbury ON, N0H 2P0

Phone: 519-599-3131 ext 221

tax@thebluemountains.ca | www.thebluemountains.ca

Tax Bill**Final****2026****Billing Date****July 8, 2026**

Roll No. 4242 000-006-27498-0000				Customer ID. [REDACTED]		2114		
Mortgage:				Mortgage No.				
Name and Address				Municipal Address/Legal Description				
[REDACTED] 147 ALTA RD BLUE MOUNTAINS, ON L9Y 0T2				2113 147 - ALTA ROAD PLAN 1127 LOT 65				
Assessment Class and Value		Description and School Support	Town (Lower Tier)		County (Upper Tier)		Province - Education	
			Tax Rate	Amount	Tax Rate	Amount	Tax Rate	Amount
RTEP	1,001,000	Residential - English Public	0.00441652	\$4,420.94	0.00437765	\$4,382.03	0.00153000	\$1,531.53
Sub Totals >>>			Town Levy	\$4,420.94	County Levy	\$4,382.03	Ed Levy	\$1,531.53
Special Charges			Instalments		Summary			
			August 20, 2026	Tax Levy Sub-Total (Town+ County+Education)			\$10,334.50	
			\$2,677.76	Special Charges			\$0.00	
				2026 Tax Cap Adjustment			\$0.00	
			October 20, 2026	Final 2026 Levies			\$10,334.50	
			\$2,677.00	Less Interim Billing			\$4,979.74	
				Past Due / - Credit			\$0.00	
Total			\$0.00	Total Amount Due			\$5,354.76	

Schedule 2

Final 2025 Levies Total Year over Year Change

\$9,959.47 \$375.03

Final 2026 Levies

\$10,334.50

Final 2025 Levies	\$9,959.47
2025 Annualized Taxes	\$9,959.47
2026 Town Levy Change	\$174.69
2026 County Levy Change	\$193.67
2026 Education Levy Change	
2026 Tax Change Due to Reassessment	\$6.67
Final 2026 Levies	\$10,334.50

Schedule 3

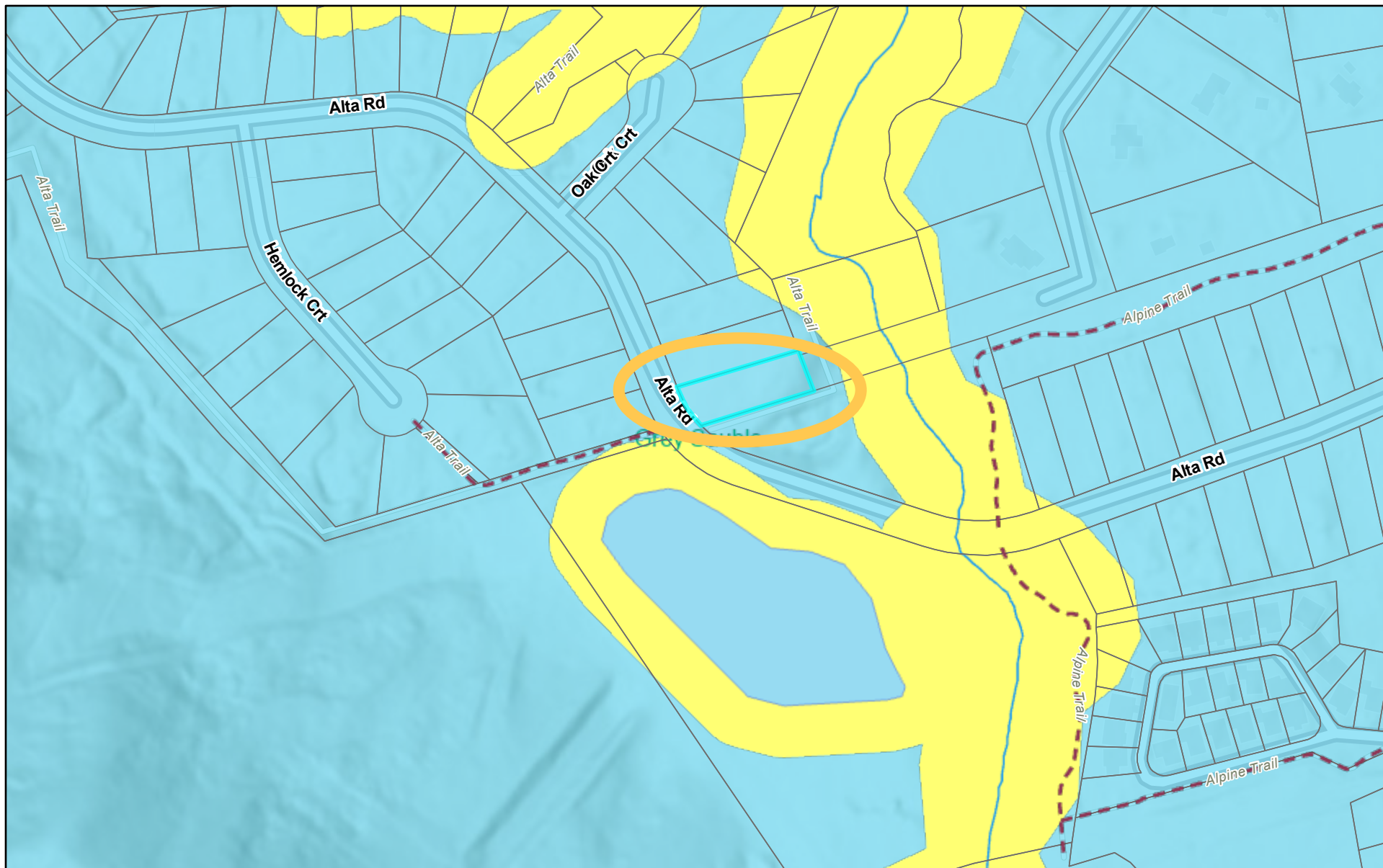
Commercial

Industrial

Multi-Res.

2026 CVA Taxes			
2025 Annualized Taxes			
2026 Tax Cap Amount			
2026 Education Levy Change			
2026 Municipal Levy Change			
Final 2026 Taxes			

Town of The Blue Mountains**32 Mill St. P.O. Box 310****Thornbury, Ontario N0H 2P0***Please make cheque payable to: Town of The Blue Mountain**Pay promptly to avoid penalty. Return Bill intact if receipt**required, otherwise, return stub only. 1.25% of unpaid taxes**will be added as penalty on the first day of the month after due**date and on the first day of each month thereafter until paid.***SEE REVERSE OF BILL FOR FURTHER INFO****INFO ONLY -- DO NOT PAY****Paid by Pre-Auth Pymt Plan****Town of The Blue Mountains****32 Mill St. P.O. Box 310****Thornbury, Ontario N0H 2P0***Please make cheque payable to: Town of The Blue Mountain*



8/21/2026, 10:25:15 AM

Hiking

--- Town of the Blue Mountains

□ Assessment Parcel

□ CA Boundaries

□ Sub-Watershed Boundary

□ Wet Areas - GSCA

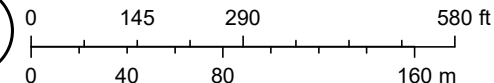
— Watercourses

■ Regulations - GSCA

□ NEP Boundary

NEP Designation

■ Escarpment Recreation Area



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Roll Number: 424200000627498

Address: 147 Alta Road

Assessed Value: \$1,001,000

Notice: Assessed value may not reflect current market value [MPAC](#)

Legal Description

PLAN 1127 LOT 65

Property Use

Seasonal/recreational dwelling - not located on water

Acreage

0.45 ac

NEC Designation

Within Niagara Escarpment Plan Area

Zoning

Hazard, Residential One

Hectares

0.18 ha

* Zoning may not be up-to-date. Confirm with local municipal zoning bylaw.



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Info ×

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NEC Development Control ^

Please refer to the NEC for landuse regulations
[Niagara Escarpment Commission](#)

More property information v

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